

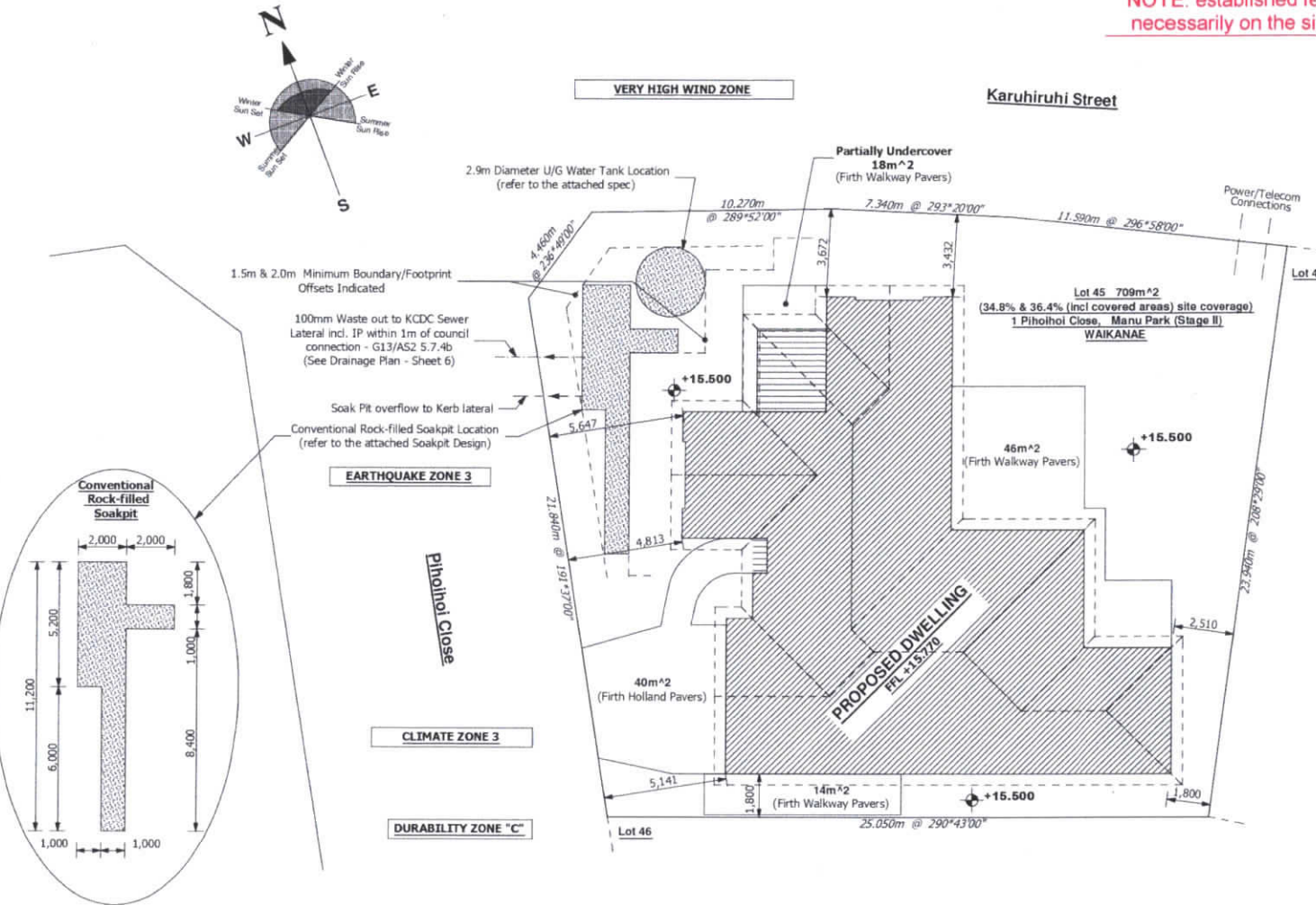
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BOUNDARY LINES
The Owner/Builder is responsible for clearly defining the site boundary lines and pegs. This may require a survey.
NOTE: established fences are not necessarily on the site boundary.

230413
Received by
Kapiti Coast District Council
26/05/23

APPROVED BY
PLANNING
kirsties
21/06/2023

All works to be
in accordance
with BC230413



SITE PERMEABILITY
Refer to attached Stormwater Disposal Design Report

E2 FLASHINGS - SITUATION 2
(all roof pitch angles in Very High Wind Zone)

STANDARDS/CODES
All references to standards and codes etc shall be taken as reference to latest version including amendments

NOTE:
HAZARD MANAGEMENT TEMPORARY FENCING
If a worksite is not completely enclosed and unauthorised entry by children is likely, it is acceptable for specific hazards to be fenced only when workers are absent from the immediate vicinity where potential hazard at a work site makes a safety barrier necessary, a barrier complying with Table 1, NZBC 15/AS1 is an acceptable solution.

SITE PLAN - Scale 1:200
Sheet 2

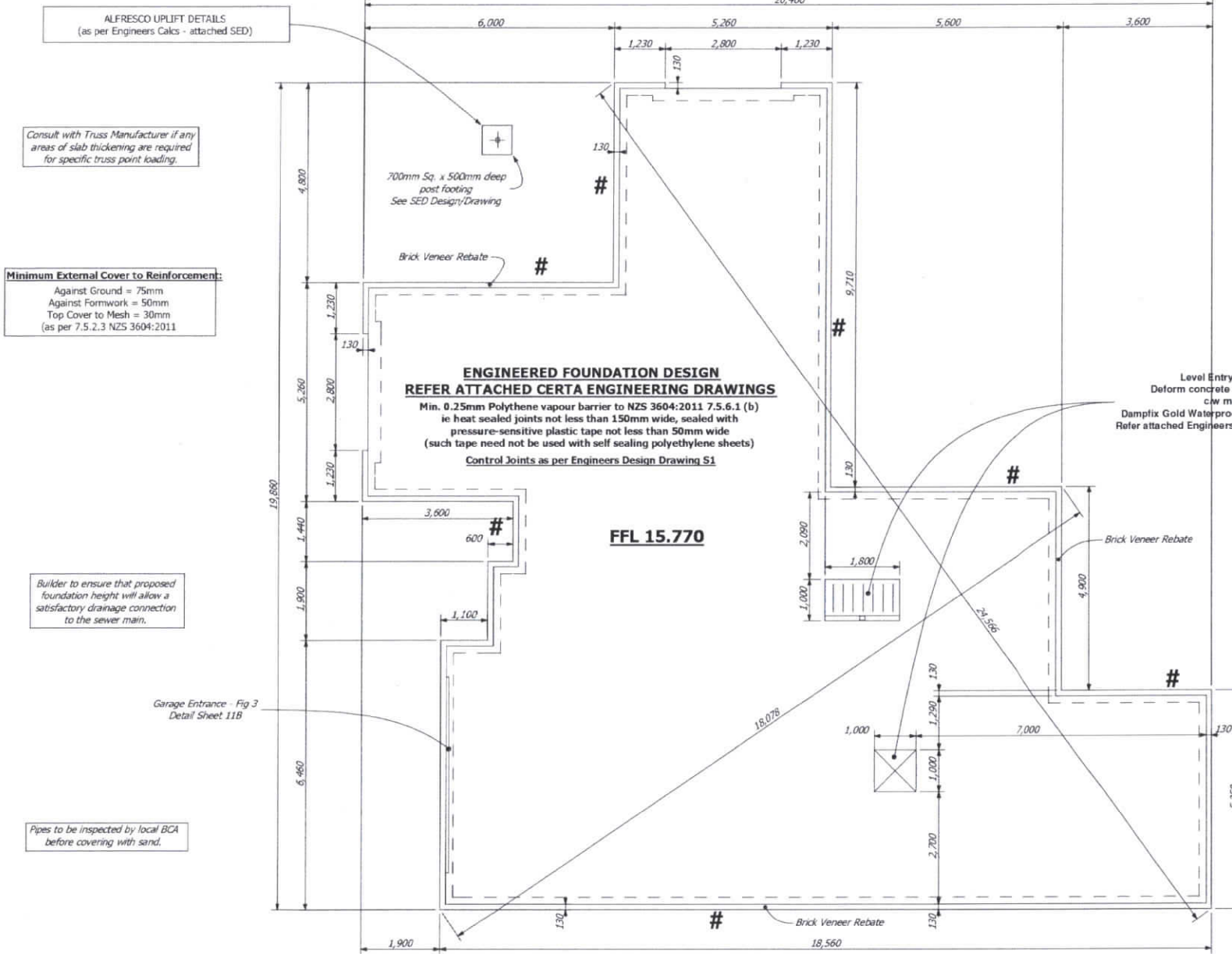
Proposed New Dwelling for:
1 Pihohoi Close, Lot 45, Manu Park, Waikanae

Prepared by:
The PlanWorkz
Design Plans Ltd. t/a
S. Neale
Email: s@theplanworkz.co.nz

Date: 03-10-22
Issue: A
Job Number: WA 45MP

This plan has been prepared with all reasonable care taken for the purpose intended and the Designer accepts no responsibility for costs incurred or damages suffered by the Owner or Builder or any third party in reliance on this plan. The Designer shall not be liable for any loss or damage suffered by the Owner or Builder or any third party in reliance on this plan.

Issue: **A**
05-05-23
Job Number
WA 45M



Internal Farming not containing load-bearing or bracing elements may use shot-fired anchors at max. 600mm centres (typ.)

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Bottom Plate Fixings
 External Walls/Internal Walls (loadbearing):
 Proprietary Anchor Screws:
 Set within 150mm of each end of the plate and at max. 900mm centres
 Internal Walls (non-loadbearing):
 Proprietary Shot Fired Pins/Washers:
 Max. 600mm centres

MINIMUM FINISHED FLOOR LEVEL ABOVE -
 PROTECTED GROUND
 100mm BRICK VENEER
 150mm OTHER CLADDINGS
 UNPROTECTED GROUND
 150mm BRICK VENEER
 225mm OTHER CLADDINGS

FOUNDATION PLAN - Scale 1:100

Sheet 4

Note:
 Dimensions are to frame or rebate edge. They do not reflect any desired overhang of the external framing (to be allowed for in conjunction with Dimension Plan - Sheet 5).
 Confirm with Project Manager location of Concrete Slab Control Joints
 Slab Control Joints to suit SED RibRaft Foundation (attached SED Drawing S1)
 # = 190mm Max. Stepdowns to broomed finish concrete Entry pad/footing/paving as per NZBC D1/AS1 Table 2

Proposed New Dwelling for:
1 Pihioholi Close, Lot 45 Manu Park, Waikeanae

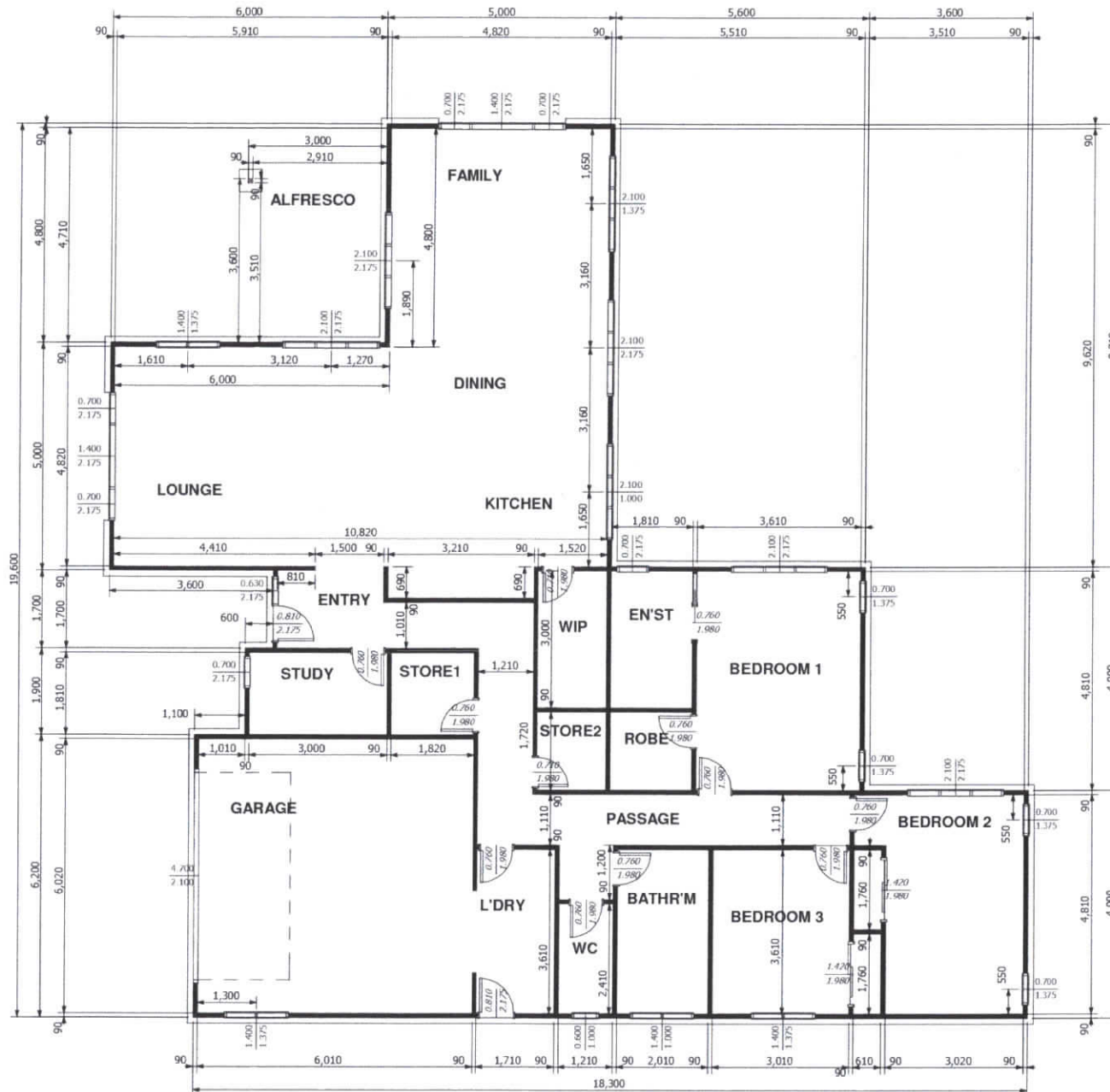
Prepared by: **PlanWorkz**
 Design Plans Ltd - via The Plan Workz
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 Email: info@theplanworkz.co.nz

Drawn: **S. Neale**
 Date: **03-10-22**

Issue: **A**
 05-05-23

Job Number
WA 45MP

This plan has been prepared with all reasonable care taken to ensure dimensions and specifications are correct. It is the responsibility of the building manager who will have a sound knowledge of the project to ensure that the plan is used correctly. The plan is not to be used for any other purpose. Any work carried out by any contractor, sub-contractor or authorised agent of the owner or builder shall comply with the requirements of the local authority. Any works undertaken outside these requirements without the approval of the designer, engineer & local authority, renders the Designer, Engineer & local authority not responsible for any claim or claims in respect to the said works.



DIMENSION PLAN - Scale 1:100

Sheet 5

Note: All dimensions to be checked on site. All dimensions to internal 90mm framing.

Dimensions are to frame and do not reflect any desired overhang of the external framing (to be allowed for in conjunction with Foundation Plan Sheet 4).

Joinery offset - Joinery as dimensioned, otherwise considered centred on applicable wall shown.

All Lintels as Per Prenail Design/Connections as denoted refer to Pryda Lintel Fixing Schedule Detail Sheet 11E

VERY HIGH WIND ZONE

Double studs required to
all openings for brick veneer ties

VERY HIGH WIND FRAMING KEY

Loadbearing Framing (SG 8):

-(Table 8.2 NZS 3604:2011)

Up to 2.4m Stud $\begin{matrix} 90 \\ 400 \end{matrix}$ = 90 x 45mm Frame Studs
@ 400mm centres max.

Internal Framing (SG 8):

-(Table 8.2 NZS 3604:2011)

Up to 2.7m Stud $\begin{matrix} 90 \\ 400 \end{matrix}$ = 90 x 45mm Frame Studs
@ 400mm centres max.

Non-LB Internal Framing (SG 8):

-(Table 8.4 NZS 3604:2011)

Up to 2.7m Stud $\begin{matrix} 90 \\ 400 \end{matrix}$ = 90 x 45mm Frame Studs
@ 400mm centres max.

Note: Drawings supporting linings or claddings to be flush with face of studs
Drawings may be staggered either side of a horizontal straight line by a
centre to centre distance not exceeding 300mm
All as per Section 8 - NZS 3604:2011

Proposed New Dwelling for:
1 Pihohoi Close, Lot 45 Manu Park, Waikeane

Prepared by:
S. Neale

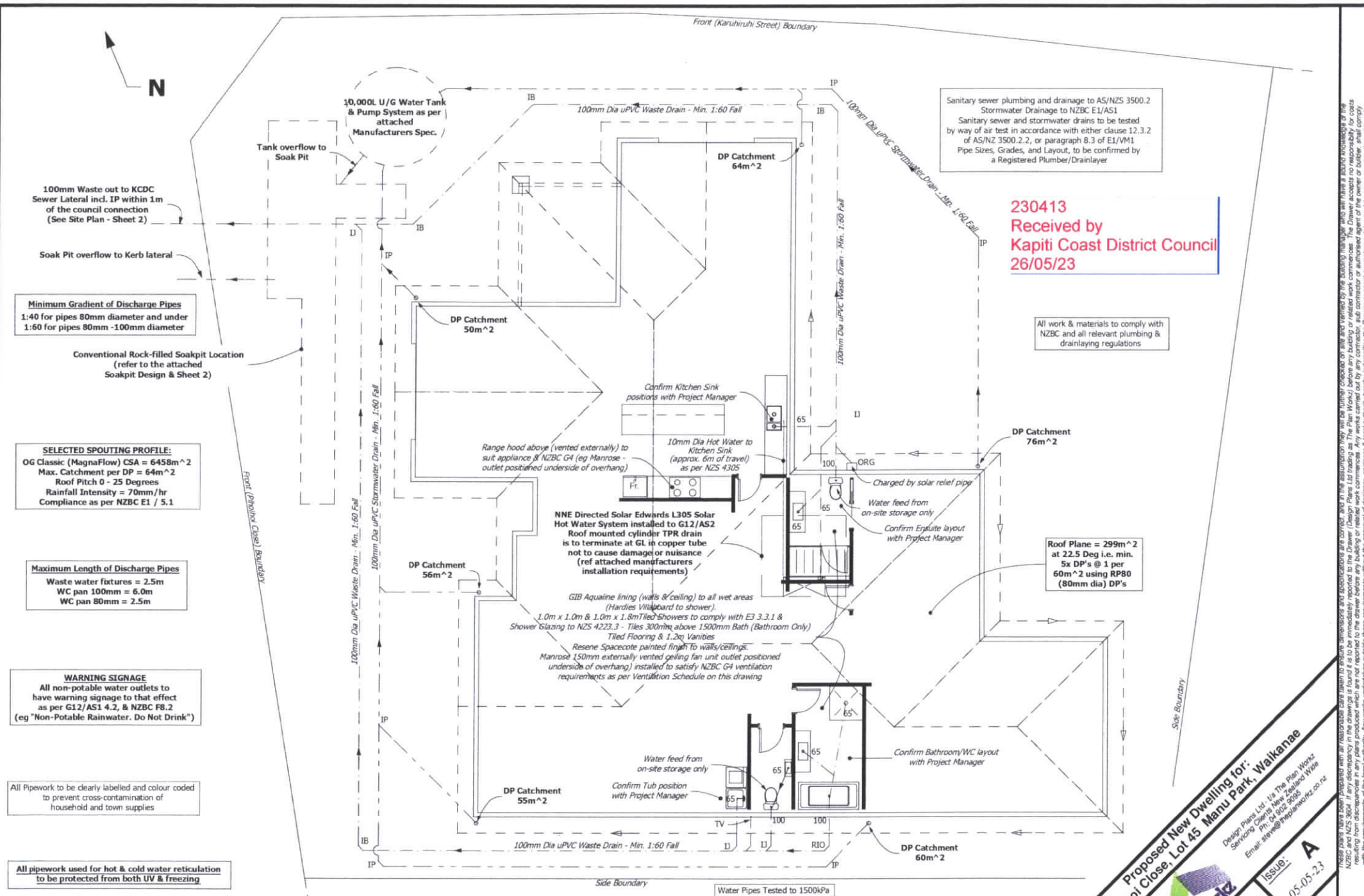
Drawn:
S. Neale

Date:
03-10-22

Issue:
A

Job Number
WA 45MP

Design Plans Ltd - via The Plan Worx
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Sanitary sewer plumbing and drainage to AS/NZS 3500.2
Stormwater Drainage to NZBC E1/AS1
Sanitary sewer and stormwater drains to be tested
by way of air test in accordance with either clause 12.3.2
of AS/NZ 3500.2.2, or paragraph 8.3 of E1/VM1
Pipe Sizes, Grades, and Layout, to be confirmed by
a Registered Plumber/Drainlayer

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All work & materials to comply with
NZBC and all relevant plumbing &
drainlaying regulations

Roof Plane = 299m²
at 22.5 Deg i.e. min.
5x DP's @ 1 per
60m² using RP80
(80mm dia) DP's

PLUMBING/DRAINAGE PLAN (provisional) - Scale 1:100
Sheet 6

Construction Details Sheet 11 I, 11J & 11K

**(as built to be supplied to local authority prior to
issuing Code of Compliance certificate)**

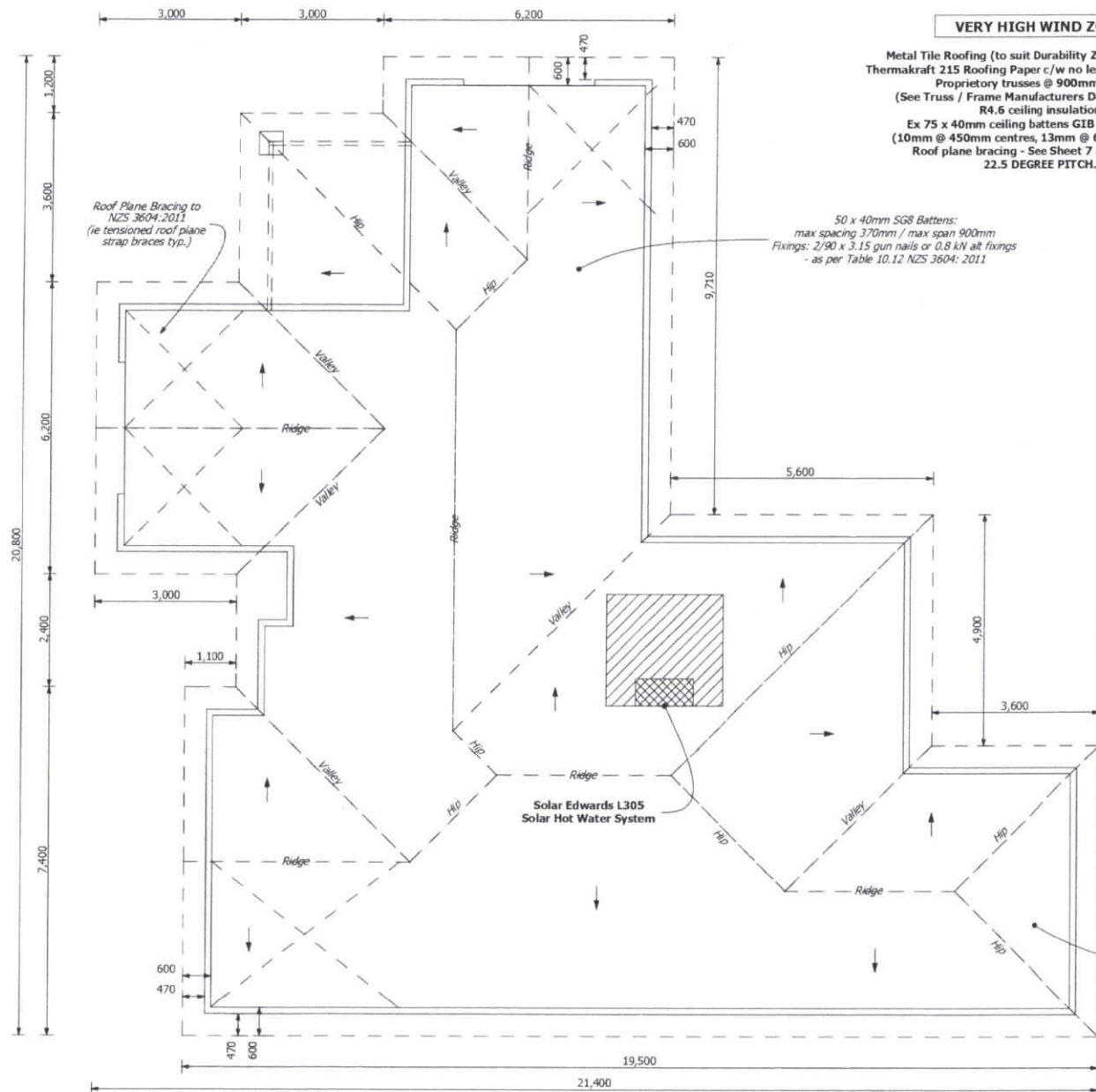
Prepared by:
1 Pihohoi Close, Lot 45 Manu Park, Waikeke

Design Plans Ltd. - Via The Plan Workz
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Email: info@theplanworkz.co.nz

Drawn: S. Neale
Date: 03-10-22
Issue: A
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WA 45MP

05-05-23

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ROOF PLAN - Scale 1:100
Sheet 7

Truss Design by Approved Supplier.
See Producer Statement and Layout Plan attached

VERY HIGH WIND ZONE

Metal Tile Roofing (to suit Durability Zone) and Battens
Thermakraft 215 Roofing Paper c/w no less than 150mm laps.
Proprietary trusses @ 900mm centres
(See Truss / Frame Manufacturers Design attached)
R4.6 ceiling insulation
Ex 75 x 40mm ceiling battens GIB board lining -
(10mm @ 450mm centres, 13mm @ 600mm centres)
Roof plane bracing - See Sheet 7 & Elevations
22.5 DEGREE PITCH.

50 x 40mm SG8 Battens:
max spacing 370mm / max span 900mm
Fixings: 2/90 x 3.15 gun nails or 0.8 kN alt fixings
- as per Table 10.12 NZS 3604: 2011

Roofing material to be installed
to manufacturers requirements,
in particular, fixing and minimum
pitch reference also Table 1 of
E2 (NZ Building Code)

The Truss manufacturer must
confirm the minimum size
requirement of all Lintels or
Beams supporting Girder Trusses
point loads. Provide in writing to
Council and Contractor.

Min. 140 x 19mm Valley Boards:
Min. H1.2 SG8 (H3.2 CCA recommended)

Dwelling:
22.5 Degree Roof Plane: 299m²
= min. 6 roof plane braces
i.e. hip / valley / diagonal
(1 per 50m² as per NZS 3604:2011 10.3 & 10.4)

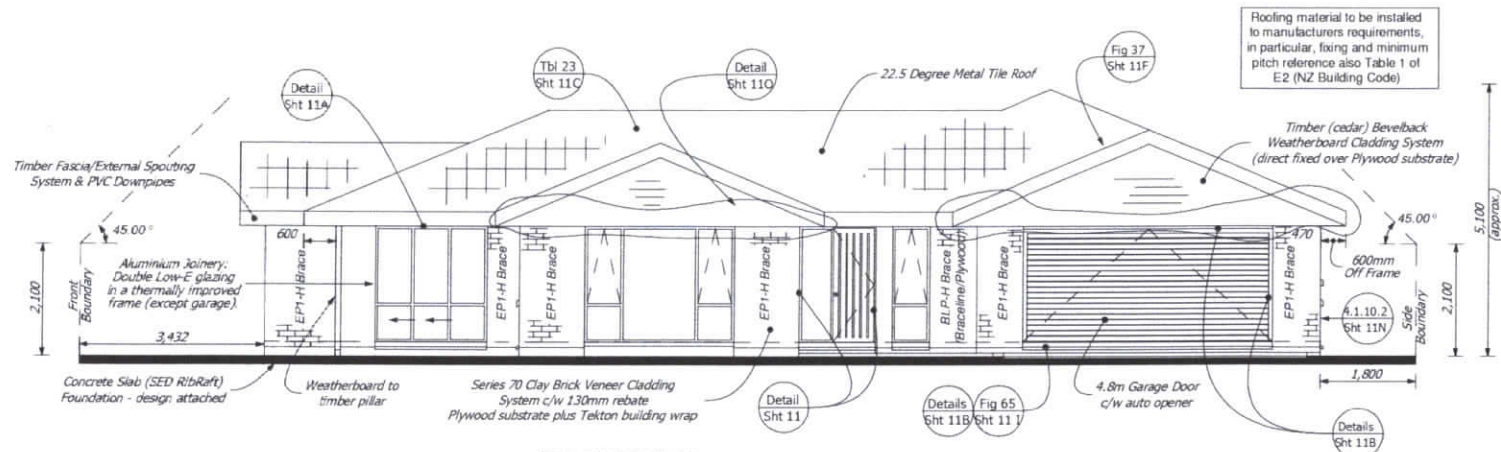
230413
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26/05/23

Proposed New Dwelling for:
1 Pihohoi Close, Lot 45, Manu Park, Waikanae

Prepared by:
PlanWorkz
Design Plans Ltd. t/a The Plan Workz
Serving Clients New Zealand Wide
Email: stew@theplanworkz.co.nz

Drawn: S. Neale
Date: 03-10-22
Issue: A
Job Number
WA 45MP
05-05-23

These plans have been prepared with care and to the best of our knowledge and belief. The Plan Workz Ltd. is not responsible for any errors or omissions in the plans. The Plan Workz Ltd. is not responsible for any errors or omissions in the plans. The Plan Workz Ltd. is not responsible for any errors or omissions in the plans.



FRONT ELEVATION - Scale 1:100

Sheet 8a

Glazing install by approved Joinery Manufacturer to NZS 4223.3:2016 (GANZTech)

Aluminium Doors - Flooring to Aluminium Sill Liner

Opening Sashes as shown comply to G4/AS1 ventilation requirements

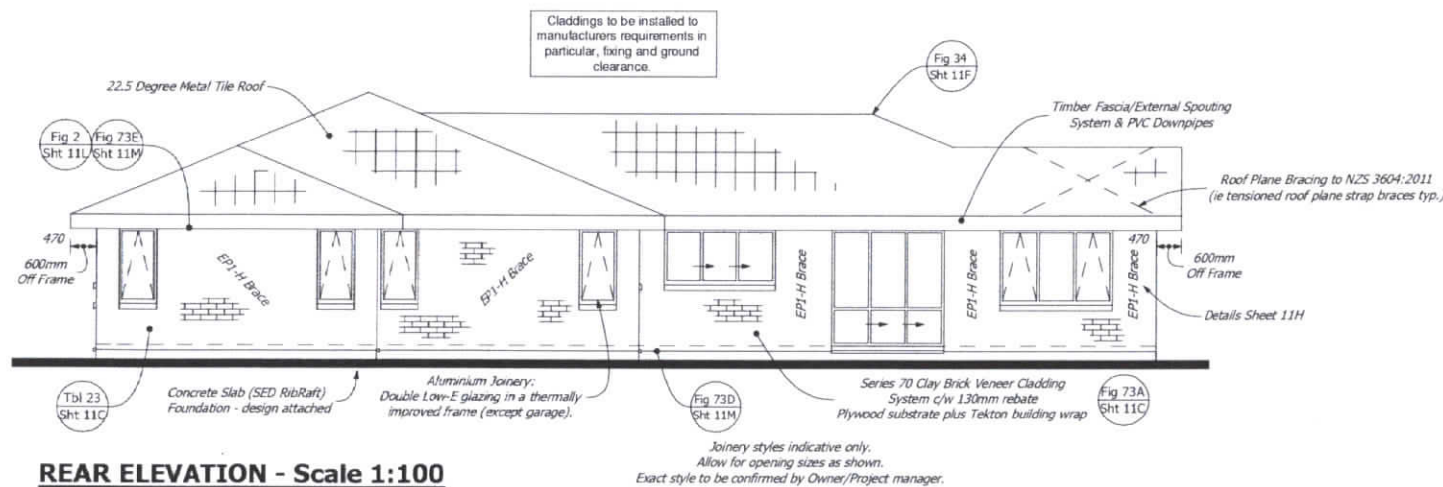
Joinery styles indicative only.
Allow for opening sizes as shown.
Exact style to be confirmed by Owner/Project manager.

SAFETY GLAZING:

Safety Glazing as required by NZS 4223: 2016 to be provided (glazed doors, side panels, full height windows and windows with low sills) as determined by the approved Joinery Manufacturer/GANZTech e-Decision Tree

Additional Details

Fig 29 Sht 11F, Fig 34 Sht 11F, Fig 33A Sht 11C, Fig 73D Sht 11M, Fig 73E Sht 11M, Fig 73A Sht 11C, Fig 73B Sht 11M, Fig 73C Sht 11M, Fig 73D Sht 11M, Fig 73E Sht 11M, Fig 73F Sht 11M, Fig 73G Sht 11M, Fig 73H Sht 11M, Fig 73I Sht 11M, Fig 73J Sht 11M, Fig 73K Sht 11M, Fig 73L Sht 11M, Fig 73M Sht 11M, Fig 73N Sht 11M, Fig 73O Sht 11M, Fig 73P Sht 11M, Fig 73Q Sht 11M, Fig 73R Sht 11M, Fig 73S Sht 11M, Fig 73T Sht 11M, Fig 73U Sht 11M, Fig 73V Sht 11M, Fig 73W Sht 11M, Fig 73X Sht 11M, Fig 73Y Sht 11M, Fig 73Z Sht 11M.



REAR ELEVATION - Scale 1:100

Sheet 8a

Glazing install by approved Joinery Manufacturer to NZS 4223.3:2016 (GANZTech)

Aluminium Doors - Flooring to Aluminium Sill Liner

Opening Sashes as shown comply to G4/AS1 ventilation requirements

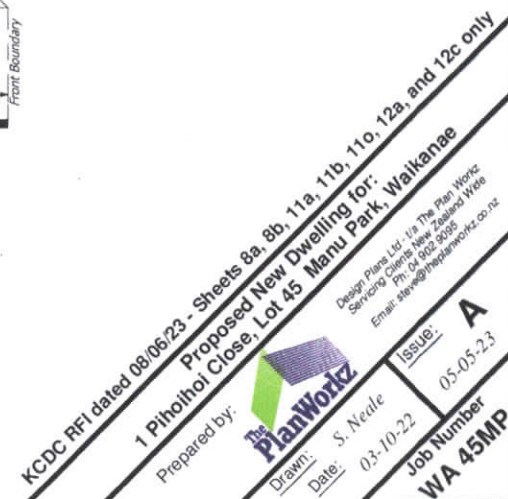
Joinery styles indicative only.
Allow for opening sizes as shown.
Exact style to be confirmed by Owner/Project manager.

SAFETY GLAZING:

Safety Glazing as required by NZS 4223: 2016 to be provided (glazed doors, side panels, full height windows and windows with low sills) as determined by the approved Joinery Manufacturer/GANZTech e-Decision Tree

KCDC RFI dated 08/06/23 - Sheets 8a, 8b, 11a, 11b, 11c, 12a, and 12c only
Prepared by: 1 Pihonhoi Close, Lot 45 Manu Park, Waikeke
Proposed New Dwelling for:
The PlanWorkz
Design Plans Ltd - via The PlanWorkz
Serving Clients in New Zealand Wide
Email: steve@theplanworkz.co.nz
Drawn: S. Neale
Date: 03-10-22
Issue: A
Job Number
WA 45MP
05-05-23

These plans have been prepared with all reasonable care taken to ensure dimensions and specifications are correct, and at the assumption they will be used by the building manager who will have a sound knowledge of the NZEC and NZS 3604. If any discrepancy is found it is to be immediately reported to the Designer (Design Plans Ltd trading as The PlanWorkz) before any building or related work commences. The Designer accepts no responsibility for costs or delays caused by the building manager's failure to obtain the necessary approvals or for any errors or omissions in the plans or for any delays or costs caused by the building manager's failure to obtain the necessary approvals or for any errors or omissions in the plans or for any delays or costs caused by the building manager's failure to obtain the necessary approvals.



Supply copy of relevant warranties for roofing, membrane systems or fascia/gutter systems as appropriate to Council

ROOF TRUSSES

Roof trusses shall be specifically designed in accordance with NZS 3603.
Max. span between load points - 12m
Max. eaves overhang - 750mm
Max. truss spacings - 900mm (light roof)

VERY HIGH WIND ZONE

Metal Tile Roofing (to suit Durability Zone) and Battens
Thermakraft 215 Roofing Paper c/w no less than 150mm laps.
Proprietary trusses @ 900mm centres
(See Truss / Frame Manufacturers Design attached)
R5.0 (core) & R3.2 (perimeter) ceiling insulation
Ex 75 x 40mm ceiling battens GIB board lining -
(10mm @ 450mm centres, 13mm @ 600mm centres)
Roof plane bracing - See Sheet 10 & Elevations
22.5 DEGREE PITCH.

Truss Design by Approved Supplier.
See Producer Statement and Layout Plan attached

TOP PLATE CONNECTIONS

All top plate connections in accordance with 8.7.3.4 to be 6kN unless stated otherwise on Bracing Plans Sheet 6 & 7

Continuous Colorsteel Fascia and Ogee Spouting c/w uPVC downpipes.
Dyrex Soffit System.

Cladding:

Series 70 Clay Brick Veneer (c/w 130mm offset).

Timber (cedar) Bevelback Weatherboard Cladding System (direct fixed over Plywood substrate) to NZS 3604:2011, E2/AS1, & manufacturers installation & warranty requirements.

TektonBuilding Wrap over Construction Ply Substrate (to all external wall framing) installed and secured as per manufacturers instruction.
Protect edge of slab with subfloor polythene.

10mm GIB to 90 x 45mm H1.2 framing to NZS 3604:2011
Min. R2.8 insulation to all external framing.

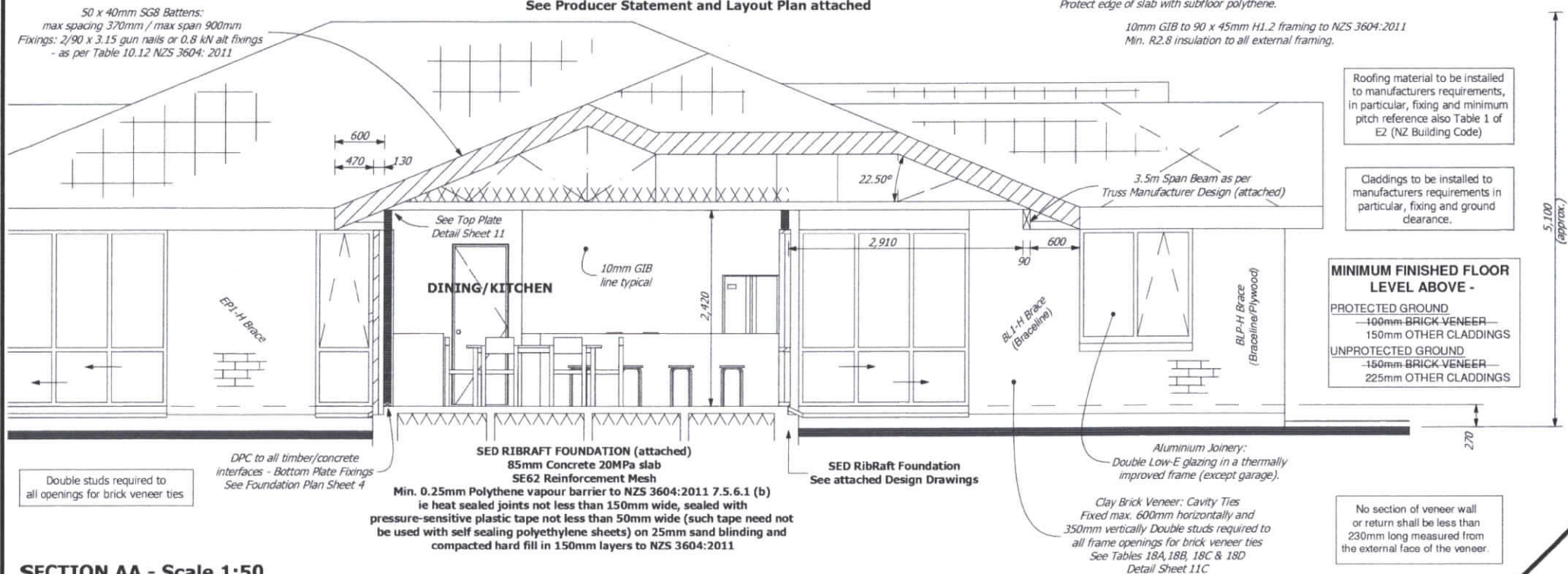
Roofing material to be installed to manufacturers requirements, in particular, fixing and minimum pitch reference also Table 1 of E2 (NZ Building Code)

Claddings to be installed to manufacturers requirements in particular, fixing and ground clearance.

MINIMUM FINISHED FLOOR LEVEL ABOVE -

PROTECTED GROUND
-100mm BRICK VENEER
-150mm OTHER CLADDINGS
UNPROTECTED GROUND
-150mm BRICK VENEER
-225mm OTHER CLADDINGS

No section of veneer wall or return shall be less than 230mm long measured from the external face of the veneer.



SECTION AA - Scale 1:50

Sheet 9

To be read in conjunction with all other Sections/Details

All work to comply with the NZBC and NZS 3604:2011

Glazing install by approved Joinery Manufacturer to NZS 4223.3:2016 (GANZTech) Detail Sheet 11A

Truss Design as per attached Prenail Manufacturers Design

Builder to verify & check all dimensions & levels on site. All construction to comply with NZS 3604: 2011, NZBC, Local authority bylaws & engineer. Builder to verify all beams, joists, studs, rafter & other structural members on site to confirm full compliance.

Proposed New Dwelling for:
1 Pihonui Close, Lot 45 Manu Park, Waikeke

Prepared by: The PlanWorks

Drawn: S. Neale
Date: 03-10-22

Design Plans Ltd. Via The Plan Works
Serving Clients New Zealand Wide
Email: info@theplanworks.co.nz

Issue: A
05-05-23

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WA 45MP

These plans were prepared with all reasonable care taking into account the information and specifications provided. The Plan Works Ltd. and its employees accept no responsibility for any errors or omissions in these plans. The Plan Works Ltd. is not responsible for any errors or omissions in these plans. The Plan Works Ltd. is not responsible for any errors or omissions in these plans. The Plan Works Ltd. is not responsible for any errors or omissions in these plans.

Paterson Homes Limited

House Specifications for Lot45 Manu Park, Waikanae

Features

Provisional Sums include GST.

KCDC permit

All services connected to the house.

(Power, Telephone, internet, water, Sewer, and Sewage
(Storm water) 10,000L Water tank and soak pit

Contract Work Insurance

Site Earthworks

Concrete Slab

Engineered Rib Raft Slab (insulated)

Timber frames and Trusses - 90 x 45 H1.2

Roof – Corona Shake Tile roof (Colour of client's choice) Chip or Metal

Fascia- Colour Steel Spouting (Colour of client's choice) with PVC downpipes (not painted)

Windows- Aluminum double glazed with grey tint (Double glazed Obscure glass in garage)
(Colour of client's choice)

Aluminum Front Door – SR11 (Colour of client's choice)

Cladding Midlands Brick and cedar Weatherboards

3 Brick options Aztec Range, Estate Range or Manor Range

Soffits – Dynex –pre painted White.

Garage door - Colour Steel flat insulated garage door with merlin opener x 2 (Colour of client's choice)

Insulation – Pink batts 2.6 wall batts 5.0 ceiling

Plaster Board - All walls 10mm gib and ceilings 13mm gib in Bathrooms and ensuite 10mm aquiline all stopped to paint finish.

Painting - Interior painting (One colour for ceilings 1 colour for walls and one other colour can be used for doors)

Scotia – Square Stop

Scotia - 40mm x 10mm pine finger jointed (wardrobes and garage)

Skirting - 60mm x 10mm pine finger jointed bevel

Architraves – 40mm x 10mm pine finger jointed bevel

Inside doors - Custom wood grooved doors - paint quality

Handles - Interior door hardware 4 different options

Garage linings - Ply groove.

Kitchen P.C Sum \$37,500 (Colour of client's Choice)
Pantry P.C Sum \$3,000 (Colour of client's choice)
Laundry P.C Sum \$2,500 (Colour of client's choice)
Office P.C Sum \$ (Colour of client's choice)
Wardrobe P.C Sum \$ (Colour of client's choice)

Kitchen Appliances P.C Sum \$9,500

Floor coverings

Tiles - \$70.00 a sqm + laying (Colour of Clients choice)
Hobbs 4 sqm
Bathroom 24 sqm Ensuite 20 sqm
Toilet 10 sqm Laundry 1 sqm

Timber Flooring – Quick Step classic 105 sqm.

Kitchen, Family, Dining, Lounge, Pantry, Entrance, office, Hall and Hall cupboards

Carpet – Garage and Laundry

Carpet - PC Sum \$180 linear meter.

Wardrobe World- Shelving P.C Sum \$3,000. (Wardrobes, hall cupboards)

Rails and Holders - 3 x hand towel holders 2 x toilet roll holders.

Plumbing

St Michel -1 x 1200 1x 900 1 x 600 Riva Woodgrain vanities'
Bath 1 x freestanding bath 1500 x 760
1x 1m x 1m fully tiled shower with glass screen by glassfit
Bathroom tap ware – Ion Elementi
1x Zeon pull down Sink Mixer
Toilets – Back to wall pan and system x2.
Solar Hot water – Solahart 305 Series (placed on roof)
10,000L Concrete Water tank with submersible pump for water tank
Wall to be in ensuite.
Outside taps x3
Water to Fridge

Outside Paving

105sqm paths and Clothesline- Pad walkway pavers 450x450 (colour of client's choice)
60sqm Driveway – Holland pavers 200x100 (colour of client's choice)
Road crossing concrete
20sqm In Alfresco area walkway pavers 450x450 (colour of client's choice)
Boundary fence 36m of Laminata fencing. Min of 5 boards high

Outside lighting is provided to suit house plan

1 x Sensor to turn on 2 x down lights in front of garage.
2 x down light above front door
4 x down light in Alfresco area
4 x down light for kitchen-lounge-master bedroom
1 x double spotlight at back door

Heating

Fully Ducted heatpump System
Under tile heating bathroom and ensuite

Electrical

Vynco fushion plugs and switches.

LED downlights

Prewire for sky digital-TV Point 2 x TV RG6 Manhole 2 x cat6 to Hub.

2 x Square heated towel rail

All exterior updowns to be square- Kube LED lamps or downlights to suit plan.

Data Box installed in garage – Cat 6 cable. Fibre ready hub

Power box in garage - meter / switchboard combinationnder

4 x USB outlets

Cat 6 patch lead to pantry of house

Wired for cat 6 data to TVs and Office

Pendants x 2 P.C Sum \$120.00 or downlights to suit plan.

1xoutside power point

3x Fan to 3 bedrooms PC sum \$2,000.

2x Electric mirrors PC sum \$2,000.

Clothesline

Lawns – Not included -Paterson Homes are unable to put down lawn due to the council water tanks and water meter restrictions.

Gardens and Plants by owner

Extras by owner

All extras will have a 10% contractor's margin added on

Lounge

4 x LED lights

3 x double power points

1 x T.V point + cat6 data connection

60mm x 10mm skirting.

Square Stop

10mm gib board walls and 13mm ceilings

Quick step wood flooring

Family

4 x LED lights

3 x double power points

1 x T.V point + cat6 data connection

60mm x 10mm skirting.

Square Stop

10mm gib board walls and 13mm ceilings

Quick step wood flooring

Dining

2 x LED lights

1 x double power points

60mm x 10mm skirting.

Square Stop

10mm gib board walls and 13mm ceilings

Quickstep wood flooring.

1 x outside power point

Kitchen

3 x LED lights
2 x LED Pendant Lights
1 x LED Light strip behind hobb
3 x double power points
1 x power outlet for freestanding oven
1 x power outlet for dishwasher
1 x power outlet for fridge
Water to Fridge
1 x 900 stainless steel Poss Parmio hood (supplied by Kitchen Creators)
1 x double sink
1 x Zeon Pull down sink mixer.
1 x Waste Disposal
Tiles above hobb
Square Stop
60mm x 10mm skirting.
10mm gib board walls & 13mm Ceilings
Quickstep wood flooring.

Pantry

1 LED light
1 x LED strip under bench
2 x double power points
Square Stop
60mm x 10mm skirting.
10mm gib board walls & 13mm Ceilings
Bench and shelving.
Quickstep wood flooring.
Cat 6 patch lead into pantry

Office

1 x LED light
2 x double power points
60mm x 10mm skirting.
Bench and Shelving
1 x cat 6 data connection
Square Stop
10mm gib walls and 13mm ceilings
Quick step wood flooring

Master bedroom

4 x LED lights
4 x double power points
Light switch above bed
1 x T.V point + Cat 6 data connection
60mm x 10mm skirting.
Square Stop
10mm gib walls and 13mm ceilings
Carpet
1x fan

Ensuite

1 x LED light
1 x LED vanity light
1 x fan
1 x 1200 vanity (St Michel)
1 x Wall to be built for shower.
1 x double power point
1 x Toilet
1 x Toilet and hand towel holder
1 x Shower mixer and slide shower
1 x Vanity mixer
1 x electric mirror
Square Stop
10mm gib walls and ceilings – Aquiline
1 x square heated towel rail
1200 high tiles on walls
Tiles on floor

Walk in wardrobe.

1 x LED down light
1 x full and ½ high shelf and rail
1 x full height shelf and rail
Square Stop
10mm gib walls and 13mm ceilings
60mm x 10mm skirting.
Carpet

Bathroom

2 x LED light
1 x LED vanity light
1 x fan
1 x 900 vanity (St Michel)
1 x 1m x 1m fully tiled shower with glass door and screen
1 x freestanding bath 1570 x 760
1 x hand towel holder
1 x shower mixer slide shower
1 x Vanity mixer
1 x mixer with spout
1 x electric mirror
Square Stop
10mm gib walls and ceilings -Aquiline
1 x square heated towel rail
1200 high Tiles on walls
Tiles on floor

Separate Toilet

1 x LED Light
1 x toilet
1 x toilet roll holder.
1 x hand towel holder
1 x 600 Vanity
1 x basin Mixer
Square Stop
10mm gib walls and 13mm ceilings
1200 high Tiles on walls
Tiles on floor

Bedrooms 2&3

2 x double power points
2 x LED lights
60mm x 10mm skirting.
10mm gib board walls 13mm ceilings
Square Stop
Carpet
1x fan

Wardrobes Bedroom 2&3

1 x shelf and rail
60mm x 10 mm skirting
40mm x 10mm scotia
10mm gib board walls and 13mm ceilings
Carpet

Hall cupboards

3 x shelves
60mm x 10mm skirting.
Square Stop
10mm gib board walls and ceilings
Quick step wood flooring

Hallway and entrance

6 x LED lights
1 x double power point
60mm x 10mm skirting.
Square Stop
10mm gib board walls and 13mm ceiling
Quick step wood flooring in entrance and hall

Garage

2 x double power points
1 x single power point for garage door
2 x LED Baton light
1 x Auto colour steel garage door + 2 remotes (insulated)
Ply groove
40mm x 10mm scotia
60mm x 10mm skirting.
Garage carpet.

Laundry

2 x LED Baton Light
2 x double power point
Ply groove
Bench and sink by kitchen creators.
40mm x 10mm scotia
60mm x 10mm skirting.
Garage carpet.