

Selwyn
DISTRICT
COUNCIL

Private Bag 1, Leeston
Phone (03) 3243-859
Fax (03) 3243-531

MWC

Consent No R412338

APPLICATION FOR BUILDING CONSENT

Section 33, Building Act 1991

(Cross each applicable box and attach relevant documents in duplicate)

PART A - GENERAL
(Complete Part A in all cases)

- 7 APR 1994

PIM
COMPLETED

APPLICANT*

Name: LRL EM McCLELLAND

Mailing address: 7A GORDON ST
SOUTHBRIDGE

Contact (Print name and position):

Phone: 3242695 Fax:

**Under section 30 of the Building Act 1991, the applicant must be the owner of the land on which building work is contemplated or a person who or which has agreed in writing, whether conditionally or unconditionally, to purchase the land or leasehold estate or interest in the land, or to take a lease in the land, while the agreement remains in force.*

PROJECT

New or relocated building ☐

Demolition ☐

Alteration ☒

Description of Work:
REPLACEMENT OF SPACEHEATER "Yunka"
wetback

Intended Use:
HEATING + PLUS WATER

Intended Life:

Indefinite but not less than 50 years ☐

Specified as 5 years ☐

Being stage of an intended stages

Estimated value (incl GST): \$

FOR COUNCIL USE

Received: / /

Application Fee: \$

Receipt No.:

PROJECT LOCATION

Street address: 7A GORDON ST
SOUTHBRIDGE

Legal description (As shown on certificate of title or rates notice): LOTS 3.4 DP 22074

Valuation Roll Number: 24170-14407

Lot: 3.4 DP: 22074

Section: Block:

Survey District:

FURTHER DETAILS

No of Dwelling Units No of Storeys

Floorspace - Existing Proposed

This application is for:

- ☐ Building consent only, in accordance with project information memorandum no
- ☐ Both building consent and a project information memorandum.

NOTE: All work covered by this application must comply fully with the New Zealand Building Code unless covered by a Specific Producer Statement which meets The Stated Objectives of the Code.

PART B - PROJECT DETAILS

(Complete Part B only if you have not applied separately for a project information memorandum.)

The project involves the following matters (Cross each applicable box, if any, and attach relevant information in duplicate):

- ☐ Location, in relation to legal boundaries, and external dimensions of new, relocated, or altered buildings.
- ☐ New provisions to be made for vehicular access, including parking.
- ☐ Provisions to be made in building over or adjacent to any road or public place.
- ☐ New provisions to be made for disposing of stormwater and wastewater.
- ☐ Precautions to be taken where building work is to take place over existing drains or sewers or in close proximity to wells or watermain.
- ☐ New connections to public utilities.
- ☐ Provisions to be made in any demolition work for the protection of the public, suppression of dust, disposal of debris, disconnection from public utilities, and suppression of noise.
- ☐ Any cultural heritage significance of the building or building site, including whether it is on a marae.

PART C - BUILDING DETAILS

(Complete Part C in all cases)

This application is accompanied by (Cross each applicable box, attach relevant documents in duplicate):

- ☐ The drawings, specifications, and other documents according to which the building is proposed to be constructed to comply with the provisions of the building code, with supporting documents, if any, including -
 - ☐ Building certificates
 - ☐ Producer statements
 - ☐ References to accreditation certificates issued by the Building Industry Authority
 - ☐ References to determinations issued by the Building Industry Authority
- ☐ Proposed procedures, if any, for inspection during construction

PART D - KEY PERSONNEL

(Complete Part D as far as possible in all cases. Give names, addresses, and telephone numbers. Give relevant registration numbers if known).

Designer(s): Name: Phone:

Address:

Building certifier(s): Name: Phone:

Address:

Builder(s): Name: SI Hardware Ltd 31 Epsom Rd Phone: 348 5843

Address:

Registered drainlayer: Name: Phone:

Address:

* Craftsman plumber: Name: Brian Hobson - Sanitary Plumb Phone: 337 1155

Address: 109 Stanbury Ave Spreydon Reg. no 3816

Other:

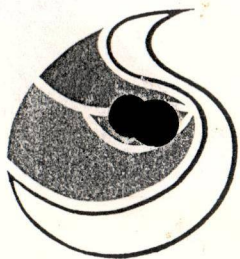
(where a Code Compliance Certificate for energy work will be requested).

Registered Electrician: Name: Phone:

Address:

Registered Gasfitter: Name: Phone:

Address:



Selwyn
DISTRICT
COUNCIL

HIGH STREET, LEESTON
PRIVATE BAG 1, LEESTON
PH: (03) 324-3859 FAX: (03) 324-3531

REF NO:

C O D E C O M P L I A N C E C E R T I F I C A T E
Section 43(3), Building Act 1991

Applicant

MCCLELLAND LEO ROSS LAIDLAW
7A GORDON ST
SOUTHBRIDGE

Consent Details

Consent/PIM No.: R412338
Date issued: 9/05/94
Date of applicn: 7/04/94
Valn No: 2417014407

Project Descrn: ALTERATIONS, REPAIRS or EXTENSIONS
BEING STAGE 1 OF AN INTENDED 1 STAGES
S/FUEL HEATER

Intended Life: SPECIFIED AS 5 YEARS

Intended Uses: S/FUEL HEATER

Project Location: 7A GORDON ST, SOUTHBRIDGE

Legal Description: LOTS 3 AND 6 DP 22074

Estimated Value: \$ 2,000

The Council's total charges payable for the issue of this Code
Compliance Certificate will be Payable on receipt of invoice.

This is a final code compliance certificate issued in respect of
all the building work under the above building consent.

SIGNED FOR AND ON BEHALF OF THE COUNCIL:

NAME:

[Signature]

POSITION:

[Signature]

DATE:

13-12-94

SERVICE
CENTRES:

LINCOLN
GERALD STREET, LINCOLN
PH: (03) 325-3288

LEESTON
HIGH STREET, LEESTON
PH: (03) 324-3859

DARFIELD
SOUTH TERRACE, DARFIELD
PH: (03) 318-8416

ADVICE OF COMPLETION OF BUILDING WORK

Section 43 (1), Building Act 1991

To SELWYN DISTRICT COUNCIL

[Cross each applicable box and attach relevant documents]

Under Building Consent No: R412338

From [Owner]:

Name: McClelland

Mailing address: 7A Gordon St
Southbridge

You are hereby advised that

☒ All

☐ Part only as specified in the attached particulars of the building work under the above building consent is believed to have been completed to the extent required by that building consent.

You are requested to issue

☒ A final

☐ An interim

code compliance certificate accordingly (except where a code compliance certificate has been issued by a building certifier as stated below).

The attached particulars include:

☐ Building certificates

☐ A code compliance certificate issued by a building certifier

☐ Producer statements

Signed by or for and on behalf of the owner:

Name: McClelland

Position: Owner

Date: 23 / 11 / 94

CONDITIONS (Continued)

(No tempering valve required. Gail)

Replacement heater with existing wetball

[Signature]

BUILDING CONSENT

REFERRALS

	Signature	Date In	Date Out
Environmental Health Officer	<i>[Signature]</i>	5.5.94	5.5.94
Engineer			
Fire Service			
Building Inspector			

CODE COMPLIANCE CERTIFICATE

APPROVAL FOR ISSUE 23-11-94

Signature

[Signature]

SITE INSPECTIONS / NOTES / NOTICE TO RECTIFY

Installation OK. 23/11/94 Rleg
16 Km. 12 min. & 12 min.

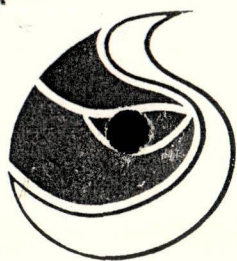
LOCALITY MAP SHOWING LOCATION OF PROPERTY

The map is a hand-drawn sketch on a piece of paper. At the top, it is titled 'LOCALITY MAP SHOWING LOCATION OF PROPERTY'. Below the title, a horizontal line represents the 'CHRISTCHURCH - SOUTH BRIDGE HIGHWAY'. To the left of this highway is a box labeled 'HOTEL'. To the right is a box labeled 'FIRE STATION'. Further right is a box labeled 'GARAGE'. Below the highway, a red dashed line with arrows points from the highway towards the bottom right. This line passes through a series of small rectangular boxes representing buildings. At the bottom right, a small square area is labeled '7A GORDON STREET' and is marked with a red 'X'. To the left of this area, a diagonal line is labeled 'GORDON STREET'. To the right, another diagonal line is labeled 'ST JOHN'S STREET'. At the top right, a horizontal line is labeled 'RAKAIA HILLS'. A black circular mark is visible on the right side of the map.

Owners Name I + E McClelland Consent No R412338
Road 7A Gordon St. Valuation No 24170-144-07
Project Description s/fuel - wet Officer MWC

FEES (Incl GST)		Receipt No.	Date
Project Information Memorandum	30 -	128510	7-4-94
Building Consent Deposit	105 -	"	"
Building Research Levy			
Building Industry Authority Levy			

Request made _____ Formally Received _____



Selwyn
DISTRICT
COUNCIL

BUILDING CONSENT NO.: R412338
Section 35, Building Act 1991

Project Information Memorandum No.: R412338

APPLICANT

Name: L R L & E M MCCLELLAND
Address: 7A GORDON ST
SOUTHBRIDGE

Contact: S I HARDWARE LTD

Phone: 3242695 Fax:
Application Received: 7-04-94

COUNCIL CHARGES

The Council's total charges payable on the
uplifting of this building consent, in accordance
with the attached details, are: \$135.00

Building research levy: \$0.00

Total: \$135.00

Receipt No.: 128510

PROJECT

New or relocated building.....
Alteration.....X

Intended use(s):
S/FUEL HEATER

Intended life:
Specified as 5 years X

Demolition.....

Being stage 1 of an intended 1 stage

Estimated value (incl GST): \$2000

PROJECT LOCATION

Street address: 7A GORDON ST,
SOUTHBRIDGE

Legal description:
LOTS 3 AND 6 DP 22074

Valuation No: 24170-144-07

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

This building consent is issued subject to the conditions specified in the attached page headed "Conditions of Building Consent No. R412338".

Signed for and on behalf of the Council:

Name: K. J. [Signature]

Position: COMMUNITY DEVELOPMENT MANAGER

Date: 9-5-94

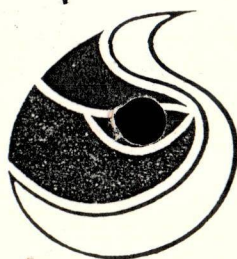
CONDITIONS OF BUILDING CONSENT NO. R412338

BUILDERS-PLEASE NOTE: in terms of the Building Act, you are required to give:

- (a) At least 2 working days notice of the intended commencement of construction:
- (b) At least 1 working day's notice of the covering up or closing in of any-
 - (i) Drainage, plumbing, gas fitting, or electrical work:
 - (ii) Excavation for a foundation:
 - (iii) Reinforcing steel for a foundation:
 - (iv) Timber required to have a specified moisture content:
 - (v) Any other building work in respect of which such notice is required as a condition of the building consent.

This Building Consent is issued subject to any condition or requirement set out in the associated Project Information Memorandum.

- (c) NZS 7421:1990 Solid fuel fired appliances shall be installed with a flue pipe and flue pipe fittings either supplied by the manufacturer or fabricated to the appliance manufacturers specification which must include the material specifications for the flue pipe.



PROJECT INFORMATION MEMORANDUM No: R 412338

Section 31, Building Act 1991

APPLICANT	PROJECT DESCRIPTION
Name: <u>LR2 + EM McClelland</u>	<u>5/1 fuel heater "wet"</u>
Mailing Address: <u>7A Gordon St</u> <u>Southbridge</u>	Intended Life: ☒ Indefinite, but not less than 50 years Specified as <u>Five</u> years ☐
PROJECT LOCATION	This is:
Street Address: <u>7A Gordon Street</u> <u>Southbridge</u>	☒ Confirmation that the proposed building work may be undertaken, subject to the provisions of the Building Act 1991 and any requirements of the building consent.
LEGAL DESCRIPTION	☐ Notification that other authorisations must be obtained.
Property Number: _____	☐ Notification that the proposed building work may not be undertaken because a necessary authorisation has been refused.
Valuation Roll Number: <u>29170 -144-07</u>	COUNCIL CHARGES
Lot: <u>3-4</u> DP: <u>22074</u>	The fee paid for the issue of this information is:
Section: _____ Block: _____	<u>\$ 135.00</u>
Survey District: _____	
This project information memorandum includes:	
☒ information identifying relevant special features of the land concerned.	
☐ Information about the land or buildings concerned notified to the Council by any statutory organisation having the power to classify land or buildings.	
☐ Details of relevant utility systems.	
☐ Details of authorisations which have been granted.	
☐ Details of authorisations which must be obtained before a building consent will be issued.	
☐ Details of authorisations which have been refused.	

Signed for and on behalf of the Council:

Name: [Signature]

Position: Senior Inspector

Date: 22/4/94

PIM INFORMATION REQUEST

TO: Environmental Health Officer
FROM: Project Information Memorandum Co-ordinator
DATE: _____

This information is required by: _____

IF ANY ADDITIONAL INFORMATION IS REQUIRED FROM THE APPLICANT,
PLEASE ADVISE THE PIM CO-ORDINATOR AS SOON AS POSSIBLE

Applicant: _____ Consent No: R412338
Site Address: _____ Legal Description: _____
Valuation No: _____
Proposal: _____

Comments:

1) Please specify in writing whether the new system to be installed is going to be identical to the system it is replacing. In particular in regards to the water heating capabilities

Other Authorisations:

Signed: H. Graham

Date: 15.4.94

1/2/93

PIM INFORMATION REQUEST

TO: Building Department
FROM: Project Information Memorandum Co-ordinator
DATE: _____

This information is required by: _____

IF ANY ADDITIONAL INFORMATION IS REQUIRED FROM THE APPLICANT,
PLEASE ADVISE THE PIM CO-ORDINATOR AS SOON AS POSSIBLE

Consent No: R410338

Please supply the following information in relation to this site: -

Hazards Register/Property File Check
Details of existing stormwater and wastewater utility systems including connection fees and road opening charges relating to the proposal, including those on adjacent sites where relevant: The flue pipe on an appliance shall be:
(a) In accordance with the material type and temperature limits permitted in tables 1 and 2 of NZS 7401;
(b) Any other material and or thickness which the appliance manufacturer can show to the satisfaction of the Approving Authority has properties suitable for the appliance.
Site Visit (Only required if Hazards/Property File check leave doubt as to the likelihood or extent of hazards on site, or for significant projects). Attach Site Visit Check Sheet (B6).
Comments: THE CONSENT WHEN ISSUED. WILL BE VALID FOR A PERIOD OF FIVE YEARS. AT THE EXPIRY OF THIS PERIOD THE FLUE AND FIREBOX WILL REQUIRE RE-CERTIFICATION.
Other comments/Authorisations:
Signed: <i>M. W. Cooper</i> Date: <i>15-4-94</i>



Selwyn
DISTRICT
COUNCIL

HIGH STREET, LEESTON
PRIVATE BAG 1, LEESTON
PH: (03) 324-3859 FAX: (03) 324-3531

REF NO: B13B

22 - 4 19 94

LRL + EM McClelland

7A Gordon St
Southbridge

Dear Sir / Madam

PROJECT INFORMATION MEMORANDUM - BUILDING CONSENT NO: R4/2338

Please find enclosed your Project Information Memorandum in respect of the proposed erection of:

S/Fuel Heat unit
at 7A Gordon St

Your application for a Building Consent in respect of the above proposal is now being processed and will be issued within 10/20 working days of the date of issue of this memorandum, unless further information is required.

This Project Information Memorandum may reveal matters affecting compliance with the Building Act 1991. You are advised to check the attached memorandum thoroughly as this may affect the feasibility of your Project.

In the event that you wish the processing of the Building Consent application to be cancelled or suspended, please notify the Council as soon as possible as you will be charged for all processing carried out.

Additional fees may be payable in respect of the Project Information Memorandum No. R4/2338. You will be invoiced separately if additional costs have been incurred.

Please quote the above Project No. in all communication with the Council.

Yours faithfully


for
SENIOR INSPECTOR

Distribution: PROPERTY FILE (1)

SERVICE
CENTRES

LINCOLN
GERALD STREET, LINCOLN
PH (03) 325 3288

LEESTON
HIGH STREET, LEESTON
PH (03) 324 3859

DARFIELD
SOUTH TERRACE, DARFIELD
PH (03) 324 3859

B4b
6/4/94

P I M APPLICATION WORK SHEET

Consent No:

R 412338

Valuation No:

24170/144/07

☒ Building Rangi / Dave / Murray

Date required 18/04/94

☒ EHO Alan / Kieran / Helen

Date required 20/04/94

Planner Greg / Jenny vH

Date required

EDS (Ray) Andrew I

Date required

Additional Information:

Requested

Received

Date PIM Issued: _____

M. R. S.

2412338

7A Gordon St.,
Southbridge.
19th April 94.

Helwyn District Council,
Lees Ton.

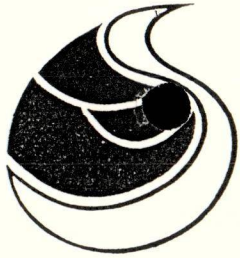
Attention Helen Graham.

Dear Mr. Graham,

Re your communication to me
of 15.4.94 concerning the installing
of new heating system in my
house at the above address.

The new system will be
identical to that which it is
replacing. It is to be a "Yunca"
Console Multiburner" with water
heating capabilities, replacing a
"Siesta Console" which also was
used for water heating purposes

Yours faithfully,
(M1) L.R.L. McElland.



Selwyn
DISTRICT
COUNCIL

HIGH STREET, LEESTON
PRIVATE BAG 1, LEESTON
PH: (03) 324-3859 FAX: (03) 324-3531

REF NO:

15.4.94

LE EM McGlelland

7A Gordon St

Southbridge

Dear Sir/Madam

Re: Application for Building Consent No. R

To enable me to process the above application, would you please supply:

1) Please specify in writing whether the new system to be installed is going to be identical to the system it is replacing. In particular in regards to the water heating capabilities.

It is important that any enquiries/correspondence relating to the above should be addressed for the attention of Helen Graham

Yours faithfully

OFFICER UNDER THE ACT

SERVICE
CENTRES:

LINCOLN
GERALD STREET, LINCOLN
PH: (03) 325-3288

LEESTON
HIGH STREET, LEESTON
PH: (03) 324-3859

DARFIELD
SOUTH TERRACE, DARFIELD
PH: (03) 318-8416

Solid Fuel Heaters - Log Burners/Multifuel Burners etc.

- ☒ Is there an accurate plan of the room where the heater is located?
- ☒ Is the heater to be installed free standing/in built into chimney (advise type)?
FREE-STANDING - "YUNRA"
- ☒ Does the heater have a wetback?
- ☐ Is hot water system fitted with a tempering valve?
- ☒ Are manufacturers specification of appliance to be installed provided?

NOTE: - A Certificate of Title and site plan are NOT needed for a solid fuel heater by itself.
- If the dwelling is a new one, the one application will deal with the fireplace.

- ☐ Name of Craftsman Plumber (and address) where a wetback is to be installed.
This is just a replacement of a present burner with wetback, will be so done by the agents - South Island Hardware
- Siting Requirements** - If the siting of your building does NOT comply with the boundary distances set out in the District Plan you WILL require a Resource Consent for the non complying siting.

- ☐ Have I made a Resource Consent application?
- ☐ Have I supplied signed consent forms from ALL adjoining neighbours on the Council's form to allow this to proceed?

NOTE: Resource Consent Applications have statutory 20 working days to process from date ALL information and fees are received.

- ☒ Have I **signed the Building Consent form**?
- ☐ Have I paid the correct "Deposit fee" for the Building Consent?
- | | |
|-----------------------|--------------------------------------|
| These fees are - PIMS | - \$70.00 |
| up to \$4000 in value | - PIMS and Building Consent \$135.00 |
| over \$4000 in value | - PIMS and Building Consent \$175.00 |

Should information not be supplied, processing will be suspended until that information is received. Delays in providing information will delay your consent.

NOTE: This information is in addition to that provided on the Building Consent Application form.

CHECK LIST

The following information will assist us in the processing of your application. Failure to supply this will cause a delay in the processing of your consent.

Please use this as a check-list.

- ☐ Current 'Search Copy' of your **Certificate of Title** (This can be obtained from the District Land Registry Office - phone 3798140).
If title is not available a copy of your agreement to purchase will do.

- ☐ An accurate site plan showing distances to ALL boundaries and existing buildings (metric).

NOTE: This is not the same as the location diagram on the Application for Consent which enables any inspector to locate your property.

- ☐ **Two** copies of all plans and specifications relevant to your consent including bracing schedules and foundation details.

If Engineering Design has been required on any part of the building a copy of the design certificate (Producer Statement) **MUST** be provided.

NOTE: All minimum bracing calculations must be minimum requirement for HIGH wind loading.

- ☐ Have I listed the **builders name and address**?

Does your construction involve **plumbing and drainlaying**?

- ☐ Yes - then consider the items below.

- ☐ No - proceed to the next page.

If yes, you are required to provide the following information.

- ☐ Name and address of Registered Drainlayer.

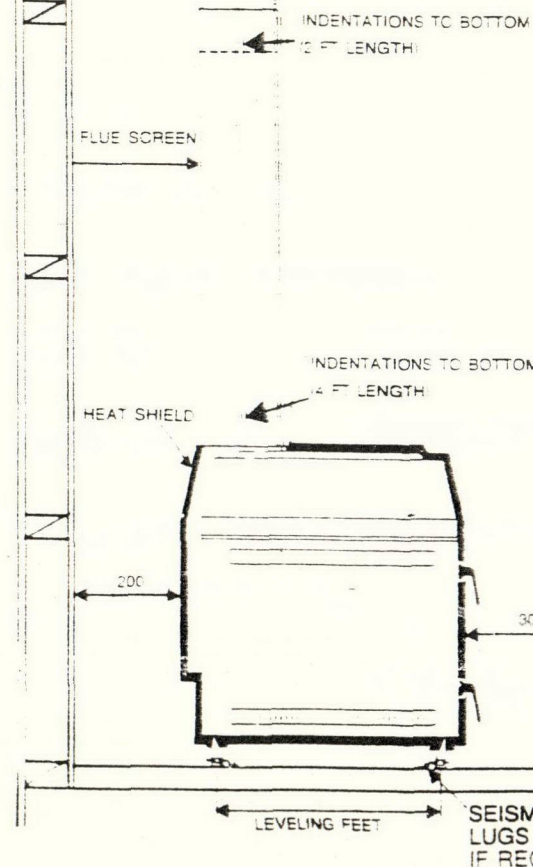
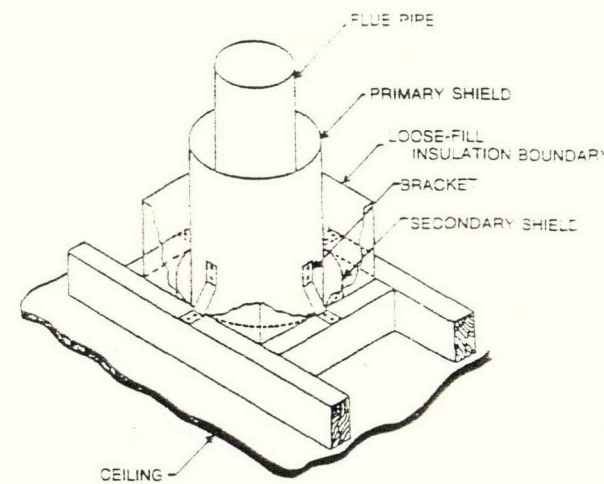
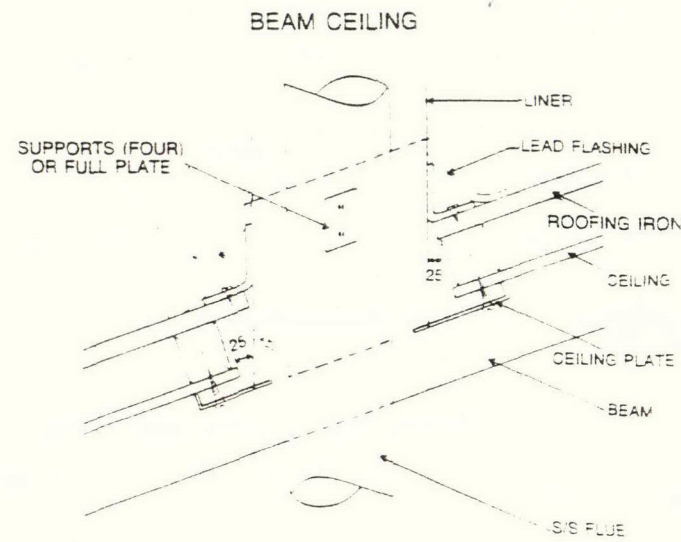
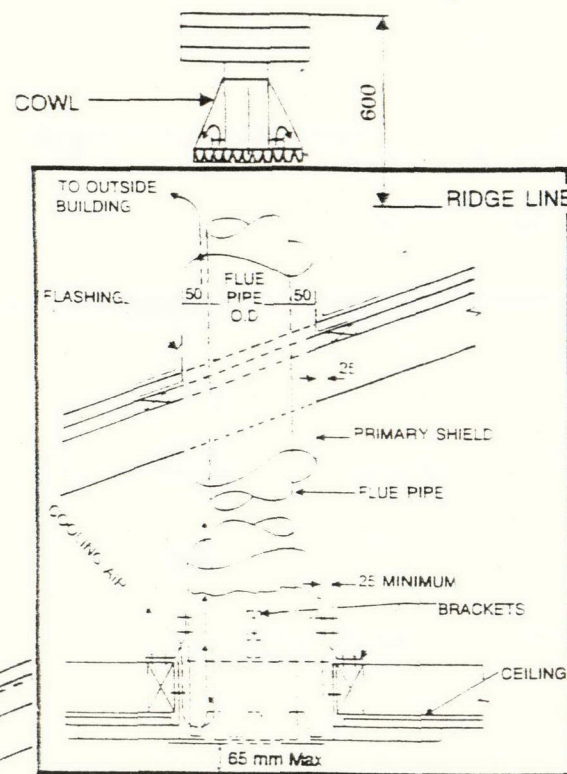
- ☐ Name and address of Craftsmen Plumber.

- | | |
|--|-----------------------------------|
| ☐ Producer Statement from Registered Drainlayer |) where there is no |
| |) specification for work or |
| ☐ Producer Statement from Craftsmen Plumber |) specification does not indicate |
| |) how work is to be carried out. |

- ☐ Producer Statement from Craftsmen Plumber

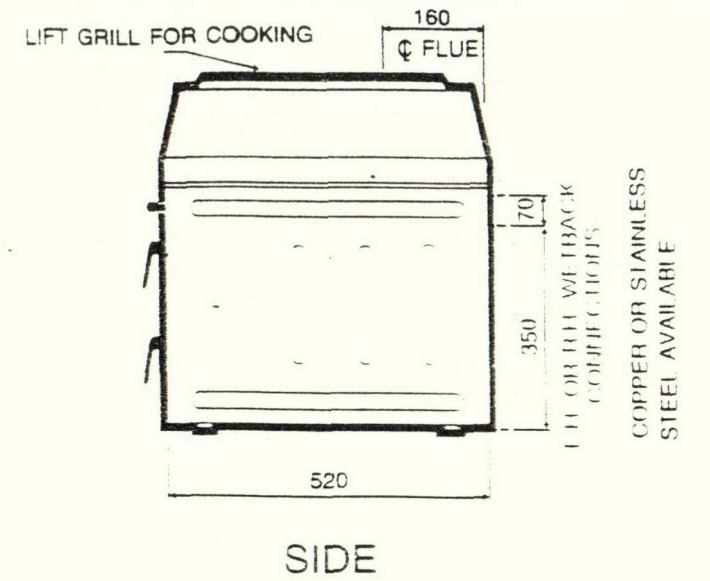
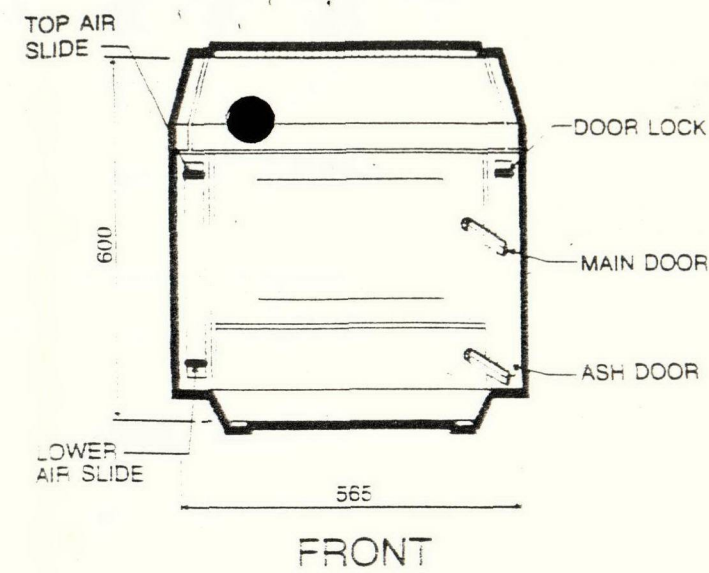
P.T.O.

TYPICAL FLUE INSTALLATION



When loose-fill insulation is used in the adjacent ceiling space, maintain clearance between the secondary shield and the loose-fill insulation by provision of a boundary extending 200 mm above the ceiling top surface. The boundary may be of any material capable of preventing accidental migration of the loose-fill by any action of wind or by persons moving in the ceiling space.

Fig. 7
LOOSE-FILL INSULATION BOUNDARY



HEATER POSITION

FIG. NO. 1

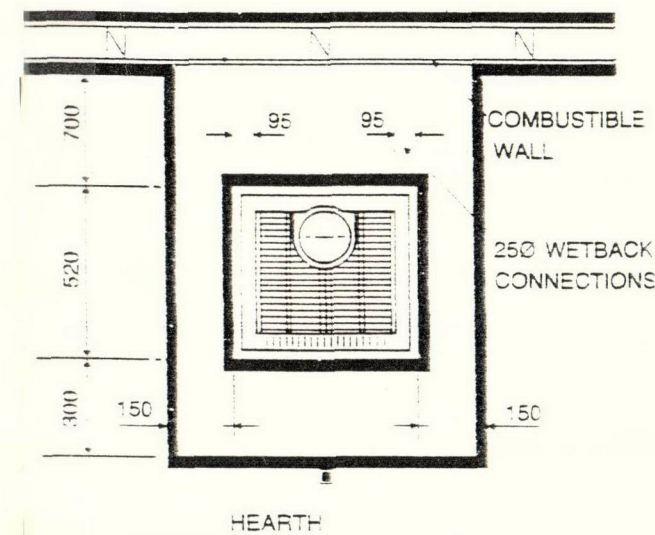


FIG. NO. 3

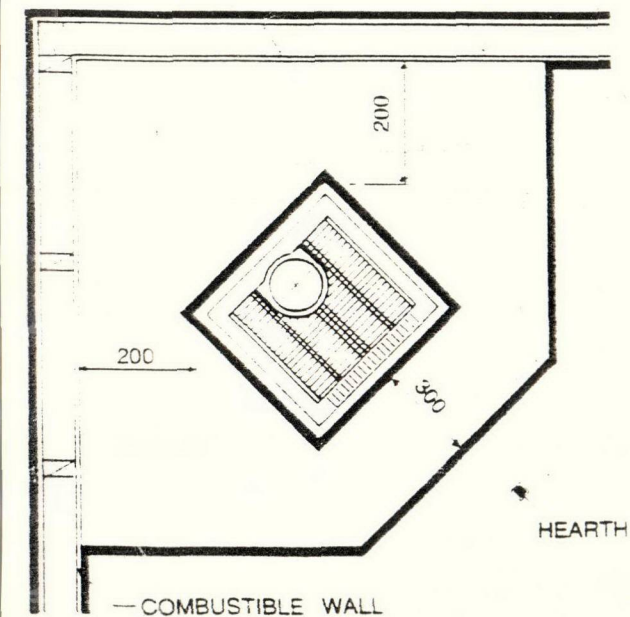
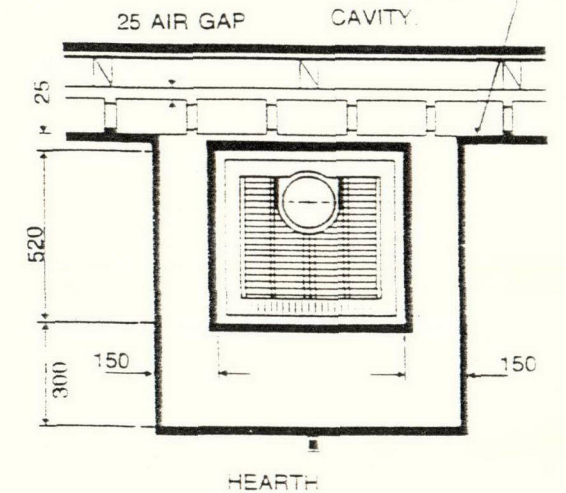


FIG. NO. 2



IN FIG. NO. 2 & NO. 4 IF FLUE SHIELD IS FITTED, BRICKWORK MAY BE 1,200 mm HIGH.

FIG. NO. 4

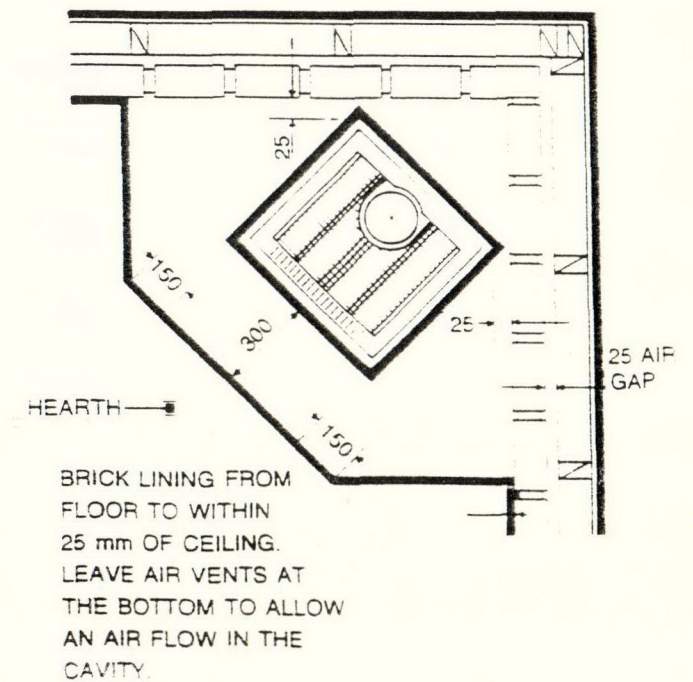


FIG. NO. 5

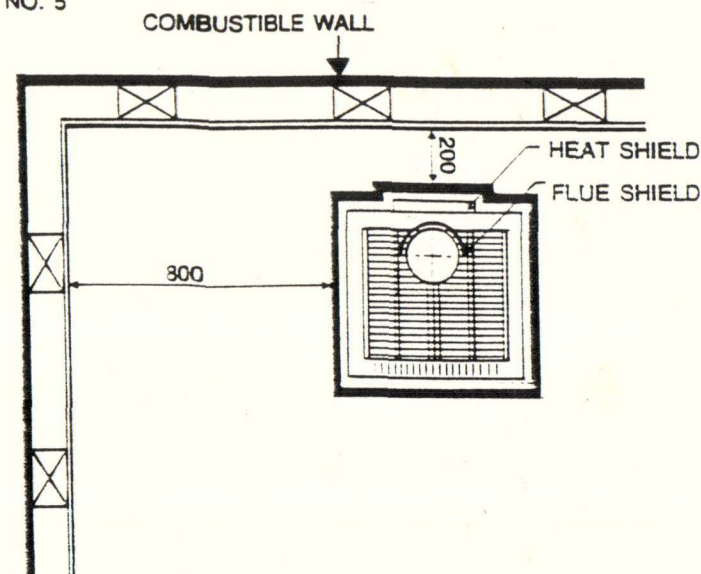
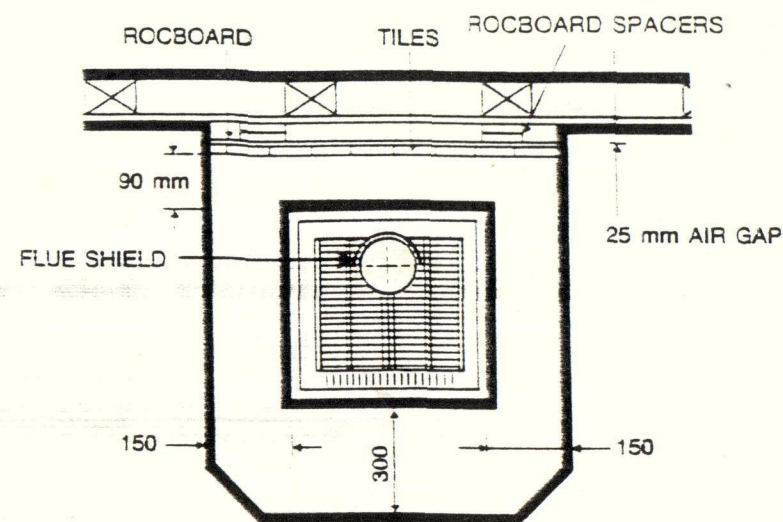
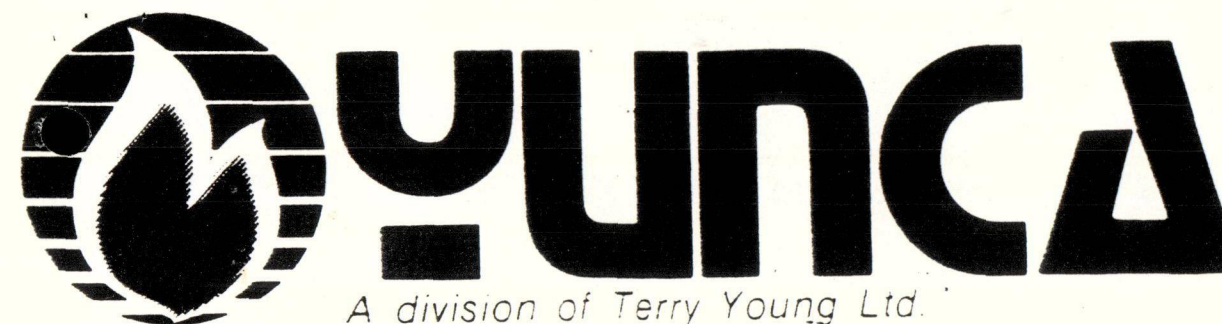
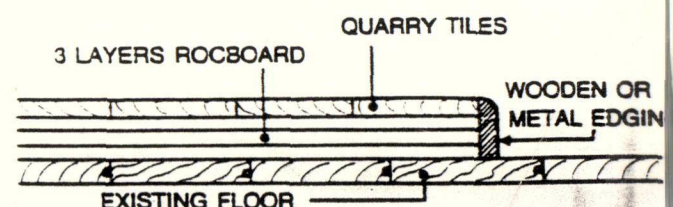
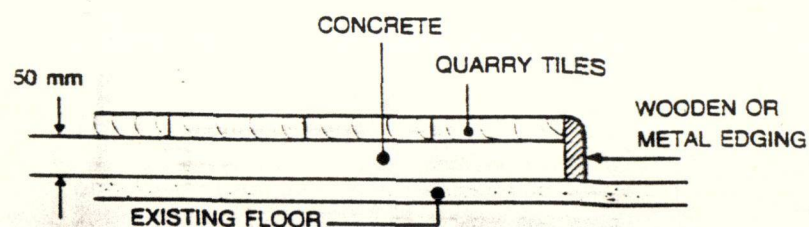


FIG. NO. 6



IF USING ROCBOARD OR SIMILAR AS A HEAT SHIELD, THE FREE AIR CLEARANCE TO A COMBUSTIBLE/HEAT SENSITIVE WALL IS 200 (IF FULL FLUE SHIELD FITTED) AND 700 mm (NO FLUE SHIELD) APPLY MANUFACTURER'S FACTOR FIGURES ACCORDINGLY. EXAMPLE: A SINGLE THICKNESS OF ROCBOARD SPACED 25 mm OUT FROM WALL LINING = .45 (FACTOR) THEREFORE HEATER WITH FLUE SHIELD FITTED = $200 \times .45 = 90$ mm. 90 mm IS THE DISTANCE BETWEEN THE ROCBOARD AND THE HEATER AS IN FIG. NO. 6.

ALTERNATIVE HEARTH INSTALLATIONS



INSTALLATION INSTRUCTIONS MULTI FUEL FREESTANDING

TESTED TO NZS 7421 1985

- Manufacturer recommends all installation be carried out by competent trades persons e.g. (Space Heater Installer) to obtain maximum performance and maintenance free heating.
- A permit is normally required and we suggest you check with your local building inspectors as by-laws can vary from place to place. Also notify your Insurance Company that a space heater has been installed.
- Hearth—
 - Must extend at least 300 mm in front of heater.
 - Must extend at least 150 mm on each side of heater.
 - Must be constructed of non combustable materials giving heat resistance equal to concrete or brick at least 50 mm thick.
- Manufacturers recommended minimum clearances from combustable walls. In compliance with NZS 7421 1985.

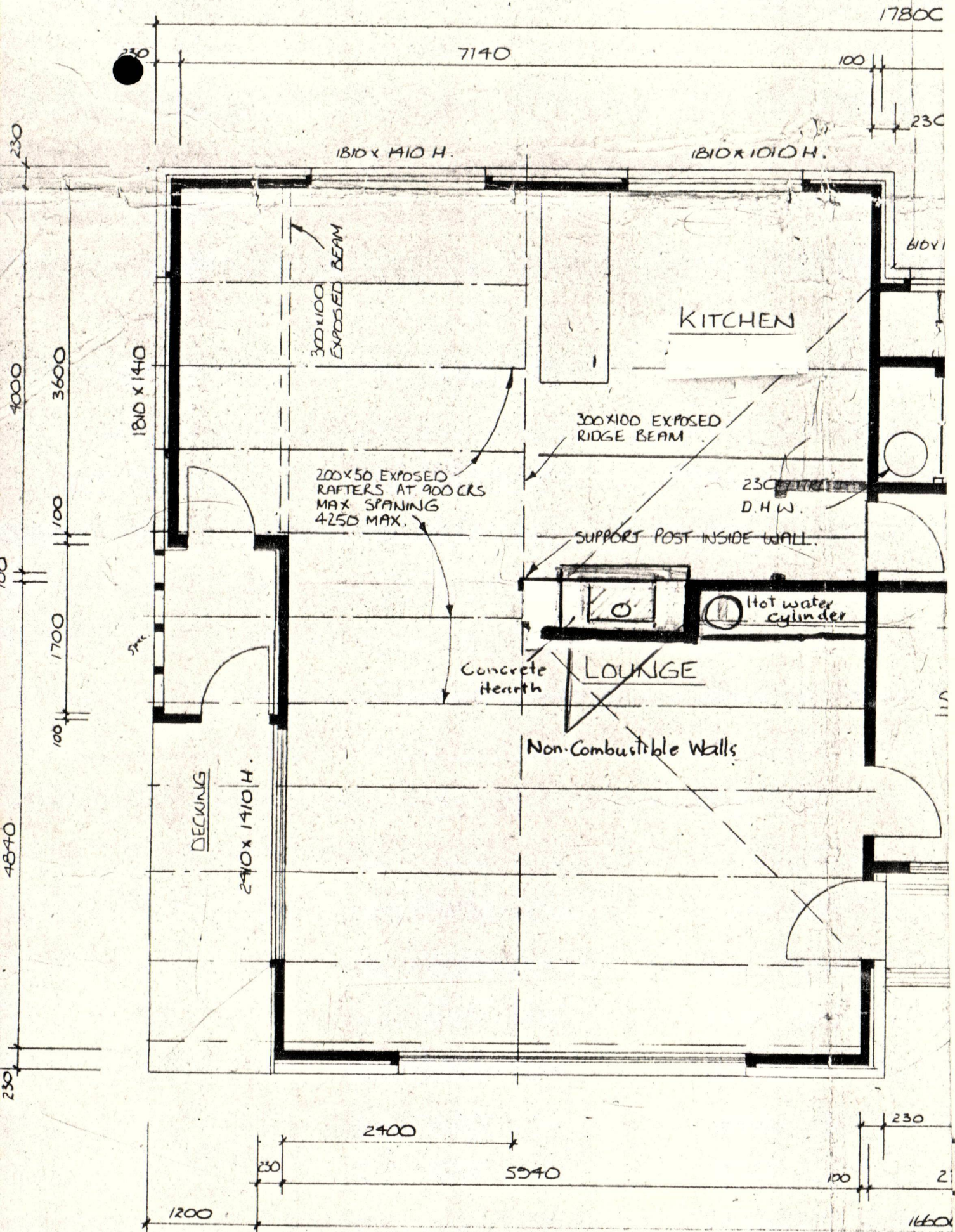
Rear Clearance (with flue shield fitted)	200 mm
Side Clearance (with flue shield fitted)	800 mm
Corner Clearance (with flue shield fitted)	200 mm (Fig. No. 3)
Minimum Hearth Size (in front of heater)	300 mm
Rear Clearance (without flue shield)	700 mm
Side Clearance (without flue shield)	800 mm
Corner Clearance (without flue shield)	200 mm (Fig No. 3)
Minimum Hearth Size (in front of heater)	300 mm

E. Flue Kit—

- Combined Burner in New Zealand consists of 3.6 m 150 mm stainless steel flue.
- 1 x Weather cap and cowls
- 1 x Ceiling tile.
- 2 x spider brackets.
- 2 x 900 mm lengths of 250 mm galvanised liners.

SOUTH ISLAND HARDWARE
51 EPCON ROAD, SOCKBURN, CH. CH.
PHONE 348-5843 348-5943

- NOTE:
 - All joints must be sealed with flue sealing compound and screwed together.
 - Weather cowl must be screwed to liner.



FLOOR PLAN

1:50

PART E - COMPLIANCE SCHEDULE DETAILS

E1: SYSTEMS NECESSITATING A COMPLIANCE SCHEDULE

(Complete Part E1 for all new buildings and alterations, except single residential dwellings)

The building will contain the following *(Cross each applicable box and attach proposed inspection, maintenance, and reporting procedures)*:

- ☐ Automatic sprinkler systems or other systems of automatic fire protection
- ☐ Automatic doors which form part of any fire wall and which are designed to close shut and remain shut on an alarm of fire
- ☐ Emergency warning systems for fire or other dangers
- ☐ Emergency lighting systems
- ☐ Escape route pressurisation systems
- ☐ Riser mains for fire service use
- ☐ Any automatic back-flow preventer connected to a potable water supply
- ☐ Lifts, escalators, or travelators or other similar systems
- ☐ Mechanical ventilation or air conditioning system serving all or a major part of the building
- ☐ Any other mechanical, electrical, hydraulic, or electronic system whose proper operation is necessary for compliance with the building code
- ☐ Building maintenance units for providing access to the exterior and interior walls of buildings
- ☐ Such signs as are required by the building code in respect of the abovementioned systems
- ☐ None of the above

E2 - OTHER SYSTEMS AND FEATURES TO BE INCLUDED IN THE COMPLIANCE SCHEDULE

(Complete Part E2 only if the building contains one or more of the systems listed in Part E1)

The building will contain the following *(Cross each applicable box and attach proposed inspection, maintenance, and reporting procedures)*:

- ☐ Means of escape from fire
- ☐ Safety barriers
- ☐ Means of access and facilities for use by persons with disabilities which meet the requirements of section 25 of the Disabled Persons Community Welfare Act 1975
- ☐ Hand held hoses for fire fighting
- ☐ Such signs as are required by the building code or section 25 of the Disabled Persons Community Welfare Act 1975

Signed by *or* on behalf of the applicant:

Name: L. R. L. McGilland

Position: owner Date 30 / 3 / 94

Deposits Payable — \$135 projects under \$4,000 ✓
\$175 all other work
\$ 70 project information memorandum only

No application will be accepted for lodging without the required deposit attached. Processing and inspection work is charged on time and mileage logged. Invoices are sent for costs incurred over and above the deposit at issue of the consent and/or on completion of the work. The Building Regulations 1992 require that a Project Information Memorandum be issued by a Territorial Authority within 10 working days after having advised the applicant that it is satisfied that all the information required has been received. A further 10 working days following the issue of the Project Information Memorandum is allowed for the issue of a Building Consent where the estimated value of the work is less than \$500,000. This period may be suspended on specified reasonable grounds such as the proposal not meeting the requirements of the Building Code, lack of appropriate information or required producer statements, or the unsuitability of the site. Projects are not complete until a Code Compliance Certificate has been issued.

INFORMATION FOR APPLICANTS FOR A BUILDING CONSENT

NOTE: APPLICATIONS CANNOT BE PROCESSED UNTIL ALL THE REQUIRED INFORMATION IS PROVIDED

1. PLANS TO BE SUPPLIED AS FOLLOWS

Type of Building	Type of Plans	Information
(a) Sheds-Decks Garages Carports Additions Farm Buildings etc.	Floor Plan Two Elevations Cross Section Site Plan	Show existing buildings, construction details and all materials used
(b) Dwellings Industrial Buildings Commercial Buildings	Floor Plan(s) Four Elevations Cross Sections Site & Drainage Plan Foundation Details	Show all construction details, materials used, provide specifications, wall bracing calculations etc.
(c) Solid Fuel Heaters	Floor Plan Installation elevations showing clearances	Manufacturers installation instructions Confirmation of compliance with NZS 7421

- (d) All plans and specifications are to be supplied in duplicate.
- (e) All plans must be drawn to metric scales and signed by the designer.
- (f) Pencil sketches will not be accepted.
- (g) A CURRENT SEARCH COPY OF THE CERTIFICATE OF TITLE IS TO ACCOMPANY ALL APPLICATIONS (EXCLUDING SOLID FUEL HEATERS).
- (h) All site plans are to be separate from the location diagram and are to show distances to ALL boundaries and existing buildings.

NO CONSTRUCTION IS TO COMMENCE UNTIL THE BUILDING CONSENT IS UPLIFTED

2. FEES

A fee deposit will be taken with the submission of the building consent application.
Further fees are payable upon approval of the application.
The balance of the fees is payable prior to the issue of the Code Compliance Certificate.
Other services for which fees may be charged are:

- Inspections
- Planning & Siting Dispensations
- Sewer & Water Connections
- Street Drainage
- Valuation Roll Search etc.

3. LOCATION SKETCH

To assist inspector in identification of property please illustrate in space provided on page 4 a brief plan **showing location of the property concerned.**

4. PLUMBING AND DRAINAGE

- (a) Sketch plans of proposed drainage layout must be submitted when new drainage is required to serve a building. This plan must include location of wells and septic tank effluent disposal systems in relation to each other and property boundaries. Include wells and disposal areas on adjoining property, the depth and type of wells (artesian or unconfined) and the direction of groundwater flow in all cases.
- (b) All work must be carried out by a registered tradesman.
- (c) If a septic tank is to be installed the site must be inspected by the Plumbing and Drainage Inspector. This may involve exposure of the soil profile.
- (d) It is important that buildings should not be occupied before complete plumbing and drainage systems have been installed and approved.
- (e) Where a property is subject to a Regional Council discharge consent, a copy of this consent must be included with the application.