



Council LIM

Statement Of Passing Over

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We cannot guarantee its accuracy as we have not checked, audited, or reviewed the information and all intending purchasers are advised to seek your own advice as to the information contained in this document.

Please note this Council property file is provided for informational purposes only. There may be matters relating to pre-1992 consents or permits which may need further investigation in order to determine their relevance.

To the maximum extent permitted by law we do not accept any responsibility to any party for the accuracy or use of the information herein.

3 September 2026

Bradshaw Limited

LAND INFORMATION MEMORANDUM (LIM)

The attached LIM provides you with information about 56B Kapiti Road Paraparaumu.

The information provided in this LIM has been gathered from all the information the Council holds on this property, as at the date of your application.

It is important to note that the Council has not undertaken an on-site inspection of the property and there may be information which is not known to Council - for example, illegal or unauthorised building or works on the property.

If you have any future plans to develop this property please contact us for advice about how to proceed and the process for obtaining the necessary approvals.

In addition to the information in this LIM you may be interested to find out more about the Kapiti Coast District. Information and advice on council services and our District Plan are available on our website: www.kapiticoast.govt.nz

Finally, if you have any questions about your LIM, please don't hesitate to contact us at kapiti.council@kapiticoast.govt.nz or 0800 486 486.



Jackie Adams
Manager Consenting

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Land Information Memorandum (LIM)

Prepared by Kāpiti Coast District Council for the property located at:

56B Kapiti Road Paraparaumu

Application Details

Applicant	Bradshaw Limited
LIM number	L260781
Application date	21/08/2026
Issue Date	03/09/2026

Property Details

Property address	56B Kapiti Road Paraparaumu
Legal description	FLAT 2 DP 63413 1/2 INT 809 M2 BEING PT LOT 1 DP 22341
Area (hectares)	0.0000

Valuation Information

Valuation number	1525227100B
Capital value	\$570,000
Land Value	\$330,000
Improvements Value	\$240,000

Please note that these values are intended for ratings purposes only.

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Document information

This document has been prepared in accordance with legislation

This Land Information Memorandum (LIM) has been prepared for the purpose of section 44A of the Local Government Official Information and Meetings Act 1987 (LGOIMA) – to provide information relating to matters which may affect the identified property.

This Land Information Memorandum (LIM) has also been prepared for the purpose of section 44B of the Local Government Official Information and Meetings Act 1987 (LGOIMA), which requires Council to identify natural hazards and potential natural hazards, the impact of climate change that exacerbate hazards and potential hazards on the identified property.

As such, each heading or 'clause' in this LIM corresponds to a part of section 44A and 44B of LGOIMA, and the supporting Local Government (Natural Hazard Information in Land Information Memoranda) Regulations 2025.

This LIM contains information held by Council

This LIM is a summary of information Council holds on the identified property, based on a search of Council database records as at the date of your application. Some of this information may have come from third parties, may be in draft form, or may be historical in nature. A LIM is not an inspection of the property, and Council has made no risk assessment or review of the information for the purposes of this document.

There may be other information relating to the property, which is unknown to Council and therefore not contained within this document. For example, information regarding illegal or unauthorised building or works on the property, or information held by other regional and central government agencies.

Due diligence is recommended

Any person obtaining a LIM is solely responsible for undertaking appropriate due diligence and ensuring that the property is suitable for its intended purpose.

Attachments

- Aerial Photograph
- Deposited Plan/Record of Title
- District Plan Zones
- District Plan Precincts and other overlays
- District Plan Features
- District Plan Natural Hazards – Active Faults
- District Plan Natural Hazards – Flooding
- Latest Flood Hazards
- Resource Consents - Maps and Summary Detail (if applicable)
- Health and Alcohol Licenses
- Services Network
- As Built Drainage Plan (if applicable)
- Building Consent geotechnical report (if applicable)
- Resource Consent documents (if applicable)
- Resource Consents geotechnical report (if applicable)
- Earthquake-Prone Building documents (if applicable)

1. Rates

In this section: information relating to any rates owing in relation to the property.

Rates are charged in four instalments for the period commencing 1 July and ending 30 June each year. Amounts stated are inclusive of GST.

Current rates year	2026/2027
Annual Rates 1 July to 30 June	\$5,067.38 These Rates include: - Greater Wellington Regional Council rates.
Next instalment date	09/09/2026
Rates arrears	\$0.00
Water Rates	\$158.53 For the 2026/2027 rating year, all water used is charged at a volumetric rate of \$1.72 per cubic metre (1000 litres) on the water rates invoice, and a fixed annual charge of \$318.60 per separately used or inhabited part of a rating unit, is charged on the property rates invoice.
Water Rates balance due	\$0.00

For further information on this section, contact the **Rates Team** on 0800 486 486.

2. Consents, Certificates, Notices, Orders or Requisitions affecting the land and buildings

In this section: information concerning any consent, certificate, notice, order, or requisition affecting the land or any building on the land previously issued by Council; information required to be provided to a territorial authority under section 362T(2) of the Building Act 2004; and information concerning any certificate issued by a building certifier pursuant to the Building Act 1991 or the Building Act 2004.

Building Consents

07/03/67	Building Permit 74269 ALTER ROOF
25/11/59	Building Permit 16453 SHED 600 SQ FT
15/02/57	Building Permit 14364 ADDITIONS 180 SQ FT
20/12/54	Building Permit 12218 FOWL HOUSE 1440 SQ FT
22/12/53	Building Permit 11136 FARM SHED
22/12/52	Building Permit 10243 NEW DWELLING

Note that building consents and code compliance certificates came into existence with the passing of the Building Act 1991. Before then, councils issued only building permits. Building work carried out earlier than July 1992 may therefore not have a code compliance certificate.

Engineer's report

Further building may require an engineer's soil report and, if necessary, a foundation design.

Wind

Indicative wind zones can be found at [BRANZ Map](#). Wind zones should be determined in accordance with the New Zealand Building Code.

For further information on this section, contact the **Building Team** on 0800 486 486.

Swimming Pools: Compliance with the Building Act 2004

No pool registered to this property.

For further information on this section, contact the **Building Team** on 0800 486 486.

Registered Environmental Health Premises and Licences

No information located.

For further information on this section, contact the **Environmental Health Team** on 0800 486 486.

3. Weathertightness

In this section: information notified to the Council under section 124 of the Weathertight Homes Resolution Services Act 2006.

The Council has received no correspondence from the Ministry of Business, Innovation and Employment in relation to this property.

4. Land use and Conditions

In this section: information relating to the use to which the land may be put, and conditions attached to that use. This section may provide some information relating to the natural hazards, which may impact this property. More information relating to these and other potential natural hazards can be found in Section 6 Natural Hazards.

The District Plan maps provided with this LIM provide a useful visual overview of the planning information provided in this LIM. However, the planning information provided is not exhaustive and reference to the Operative District Plan (2021) is recommended.

Full details of the relevant zone, precinct or development area requirements are contained within the [Operative District Plan 2021](#) on our website.

There may be policies or rules in the Greater Wellington Regional Council's Natural Resources Regional Plan (and/or a proposed change to that Plan) that regulate land use on this property. This Plan is available from the [Greater Wellington Regional Council](#) website. Questions about the impact of that Plan on this property should be made to the **Greater Wellington Regional Council** on 0800 496 734.

District Plan Features and Overlays

The [Operative District Plan 2021](#) records which properties in the District have these special features and overlays located on them. Each feature and overlay is given a unique reference number or title. There are specific restrictions on development within or around many of these features. The District Plan Features Map provided with this LIM displays whether any of these features are on, or adjacent to, this property.

This property is zoned Mixed Use in the Operative District Plan (2021).

This property was created via subdivision in 1963. A copy of the Deposited Plan (DP 22341) and Record of Title is provided with this LIM.

This property is appurtenant to rights to drain and discharge stormwater.

It is recommended that the Record of Title is checked for any interests registered against the property such as easements or covenants.

The property is subject to a cross lease agreement. These agreements can be complex. A legal check of the cross lease in terms of the accuracy and validity of the Flats Plan is recommended. A copy of the Flats Plan (DP 63413) is provided with this LIM.

Below is a list of resource consents issued for this property and further detail can be found in the decision letters provided with this LIM. For information about the resource consents for surrounding properties refer to the Resource Consents map and Summary Details Report provided with this LIM.

Resource Consent number RM120040 was granted in 2012 for the adjacent cross-lease property. A copy of the Decision and final approved plans are provided with this LIM.

If you are interested in reading the full resource consent file then these can be viewed at the Council administration building at 175 Rimu Road, Paraparaumu. Note: some resource consent files may be archived offsite; however these can be retrieved for you. Please call the Resource Consents Team on 0800 486 486 to check the availability of the files.

Air Space Designation - land within the airport flight paths where height restrictions apply to buildings and trees as set out in the Operative District Plan (2021).

This property is located within the Horizontal Surface 50m amsl, Operations Area of the Paraparaumu Airport. Refer to the Airport Plan and Surfaces maps of the Operative District Plan (2021).

There is no record of any identified cultural or archaeological sites contained on this site.

5. Special Features and Characteristics of the Land

This section identifies information held by Council about other special features or characteristics of the land concerned, including information about the likely presence of hazardous contaminants that are known to Council, but are not apparent from its District Plan under the Resource Management Act 1991.

Contaminated Sites

Greater Wellington Regional Council holds information on properties with a history of hazardous activity or industry. Refer to the Selected Land Use Register available on the Greater Wellington Regional Council website [Selected Land Use Register \(HAIL Database\)](#).

Other Information

Part of the property is shown to be subject to and adjacent to flood hazards in the Operative District Plan (2021), and the latest Flood Hazard Maps. The flood hazard identified on the maps provided with this LIM is based on the projected future flooding risk to the property including climate change projections.

The maps show the projected flood extent arising from the 1% AEP or 1% Annual Exceedance Probability Flood Event (that is, a flood event that has a 1% probability of occurring in any one year, often referred to as a 1 in 100 year storm), incorporating the projected 2090 climate change impacts, in conjunction with a 20 year return period high tide.

The nature of the controls imposed by the District Plan depends on where individual sites are located within the 1 in 100 year flood extent; which flood hazard map (operative or latest) is referenced in legislation or the District Plan, and which flood hazard category applies.

Part of the property is shown to be subject to and adjacent to ponding on the Operative District Plan (2021) Flood Hazard Maps, and the latest Flood Hazard Maps. Ponding are areas where slower-moving flood waters could pond either during or after a flood event. A Ponding Area may be affected by a direct flood risk. Ponding can be associated with rivers and streams as well as the piped stormwater network. Ponding is a direct risk.

The adjacent road carriageway (Kapiti Road) is shown to be subject to an overflow path in the Operative District Plan (2021) Natural Hazard maps, and the latest Flood Hazard Maps. Overflow paths generally occur in lower-lying areas on the floodplain which act as channels for flood waters. They can be natural, or artificially formed, and are often characterised by fast flowing water during a flood event. An overflow path is a direct hazard.

The adjacent road carriageway (Kapiti Road) is shown to be subject to a stream corridor on the Operative District Plan (2021) Natural Hazard Maps, and the latest Flood Hazard Maps. A stream corridor flood hazard is the minimum area able to contain a flood of up to a 1% AEP event magnitude and enable flood water to safely pass to the stream confluence or the sea. It includes flood and erosion prone land immediately adjacent to the stream.

For further information on flood hazards please contact the Stormwater and Coastal Asset Manager on 0800 486 486.

Greater Wellington Regional Council holds flood hazard information relating to the major rivers and streams in the District. For further information on these flood hazards, please contact the Greater Wellington Regional Council (Flood Control Department) 0800 496 734.

For information on minimum floor levels for buildings and the potential implications for building consents on this property please contact the Building Team on 0800 486 486.

This section identifies information held by Council about natural hazards, which may present a risk to the land in question, as required section 44B of LGOIMA and the Local Government (Natural Hazard Information in Land Information Memoranda) Regulations 2025.

A natural hazard is any atmospheric or earth or water related occurrence (including earthquake, tsunami, erosion, volcanic and geothermal activity, landslip, subsidence, sedimentation, wind, drought, fire, or flooding) the action of which adversely affects or may adversely affect human life, property, or other aspects of the environment.

The impacts of some natural hazards may also be worsened by the effects of climate change. Where Council holds information relating to climate change, it will be included within the natural hazards section.

The Operative District Plan 2021 contains information relating to natural hazards, which may present a risk to property and people within the Kāpiti Coast District. These are discussed below, with further information relating to how this property could be impacted available in the Operative District Plan 2021, and on the attached maps.

Natural hazard information held by Council

Natural hazards identified in the District Plan

Earthquakes

Due to its geographical features, the Kāpiti Coast District may be at risk of earthquakes. Earthquake fault traces within the Kāpiti Coast are mapped in the [Operative District Plan 2021](#), and can help you identify whether this property may fall within a fault area.

Further mapping is also available in the information provided by the Greater Wellington Regional Council later in this section.

Liquefaction

Due to its geographic location and soil typology, the Kāpiti Coast District may be susceptible to liquefaction in the event of an earthquake.

More information on this risk can be found in the [Operative District Plan 2021](#), and is also available in the information provided by the Greater Wellington Regional Council later in this section.

If this property has been subject to a Building or Resource Consent, a geotechnical assessment may have been completed and could provide more detailed and site-specific information about this property. Hazard information regarding Building or Resource Consents for this property can be found later in this section.

6. Natural Hazards

Slope failure

Due to its geographic location and soil typology, the Kāpiti Coast District may be susceptible to slope failure in the event of an earthquake. Those areas in the southern or southeastern parts of the District such as Paekākāriki and Raumati, may be particularly susceptible.

More information detailing earthquake-related hazards can be found in the [Operative District Plan 2021](#), and is also available in the information provided by the Greater Wellington Regional Council later in this section.

If this property has been subject to a Building or Resource Consent, a geotechnical assessment may have been completed and could provide more detailed and site-specific information about this property. Hazard information regarding Building or Resource Consents for this property can be found later in this section.

Fire

Due to its climate and geographical features, the Kāpiti Coast District can be susceptible to risks of fire, including wildfire. More information on this risk can be found in our [Operative District Plan 2021](#).

Further information relating to fire risks, can also be found in the information provided by the Greater Wellington Regional Council later in this section.

Tsunami

Under certain circumstances, the Kāpiti Coast District may be at risk of experiencing a tsunami. To understand the potential risk to this property and the evacuation zones please see the updated tsunami evacuation maps for Kāpiti these can be viewed at the Council's website at [Tsunami Zones](#).

Flooding

Due to its physical landscape, the Kāpiti Coast District presents with a varying level of flood risk. For more information about this risk and the property can be found under "flood hazard categories" on the District Plan Maps and in the [Operative District Plan 2021](#)

Council is currently undertaking an update of its flood modelling, which will provide up-to-date information regarding flood hazards within the Kāpiti Coast District, including at a property level. This information is only in draft currently, which has been released for consultation with the community. As it is only in draft form, the information may change prior to its finalisation, which may influence how the risk of flooding could affect this property.

More information on flood hazard modelling, including currently available information can be found on the Council website www.kapiticoast.govt.nz/environment/flood-hazard-management/flood-hazard-modelling/.

For more information, please contact the Stormwater and Coastal Assets team on 0800 486 486.

If this property has been subject to a Building or Resource Consent, a geotechnical or liquefaction assessment may have been completed and could provide more detailed and site-specific information about this property. Hazard information regarding Building or Resource Consents for this property can be found later in this section.

Coastal Erosion and Inundation Hazards

Council holds a number of reports that assess the possibility that areas of the Kāpiti Coast District shoreline may be susceptible to current and future coastal erosion and inundation. The available information on coastal hazards that are specific to the District are available on the following link: www.kapiticoast.govt.nz/coastal-science. The science of coastal erosion and inundation continues to develop as national and international best practice changes, and new information is released. The information received by Council will therefore outline different perspectives.

Currently, information specific to the Kāpiti Coast District includes:

- Council-commissioned assessments by Jacobs NZ Ltd, including coastal area-specific risk assessments, a hazard and susceptibility assessment, and the coastal hazards GIS map viewer allowing you to assess how any particular property may be affected.
- A community commissioned coastal hazard risk assessment report by Dr Willem de Lange and related predicted shoreline maps.
- Advice from the Ministry for the Environment and the Department of Conservation on coastal hazard risk identification and management of coastal risks.

Council will consider the information and its possible impact on Kāpiti properties, as part of its review of coastal provisions in the Council's Operative District Plan. On 30 January 2025 Council resolved that this work is a priority to progress.

Natural hazards identified under the Building Act 2004

Natural hazards identified under the Building Act 2004 during a consenting process may influence whether land can be built on and/or the specifications required to mitigate risk. Natural hazards under Section 71(3) of the Building Act include erosion, falling debris, subsidence, inundation, and slippage.

Consents notified relating to a natural hazard

If this property has had a Building Consent issued, which required notification for a natural hazard, it will be found in *Section 2: Consents, Certificates, Notices, Orders or Requisitions affecting the land and buildings*.

Notices issued under 133BT

Under certain conditions, for example if a building presents a risk of injury or death to people or has been evacuated during an emergency event, a notice may be issued.

A Notice under 133BT of the Building Act 2004 has not been identified for this property. For further information on this section, contact the Building Team on 0800 486 486.

Geotechnical assessment

If this property has been the subject of a Building Consent since 1 July 2020, a geotechnical assessment may have been supplied with that application. A geotechnical report may contain advice about ground conditions and natural hazards at that site including liquefaction and slope stability assessment as well as commentary on ground bearing capacity.

A geotechnical report supplied under the Building Act 2004 has not been identified for this property.

All available Building Consent geotechnical assessments are located in attached building files. For further information on this section, contact the **Building Team** on 0800 486 486

Natural hazards identified under the Resource Management Act 1991

Natural hazards identified under Resource Management Act 1991 during a consenting process could influence how land may be used and/or whether land can be built on, as well as any specification required to mitigate the risk of natural hazards. The definition of a natural hazard under the Resource Management Act can be found at the beginning of this section.

If this property has been the subject of a Resource Consent since 1 July 2020, a geotechnical assessment may have been supplied with that application. A geotechnical report may contain advice about the risk of natural hazards at the property.

A geotechnical report supplied under the Resource Management Act 1991 **has not** been identified for this property.

For further information contact the **Resource Consents Team** on 0800 486 486.

Natural hazard information provided by Greater Wellington Regional Council

This information has been provided by Greater Wellington Regional Council in accordance with the Local Government (Natural Hazard Information in Land Information Memoranda) Regulations 2025. No alteration has been made to this information.

Hazard information

Greater Wellington Regional Council holds information on natural hazards relevant to the region. Greater Wellington's hazard information has been developed to help the public, local authorities and others manage risk and make informed decisions about their exposure to natural hazards.

Please note this information has been produced at a range of scales and may not be property specific. Local Council District Plans may hold more detailed hazard information and rules on how they are applied in your area. This information is periodically updated as new studies and modelling is carried out.

- Fluvial (river) flood hazard
- Coastal flood hazard
- Tsunami hazard
- Wildfire hazard
- Seismic hazard

Climate change has the potential to exacerbate some of these hazards. More information about future changes to the regional climate can be found on the Greater Wellington website: <https://mapping1.gw.govt.nz/gw/ClimateChange/> and https://mapping1.gw.govt.nz/GW/ClimateChange_StoryMap/#.

Please contact **Greater Wellington Regional Council** at info@gw.govt.nz for more information.

For information on fluvial flood hazard please contact the Greater Wellington Regional Council's **Flood Advisory Team**

www.gw.govt.nz/your-region/emergency-and-hazard-management/flood-protection/flood-hazard-advice.

Be prepared

If your home, or place of work is vulnerable to a natural hazard we advise that you are prepared, with enough supplies for 7 days and an effective emergency plan. For further guidance please visit the Wellington Regional Emergency Management Office for more information www.wremo.nz. It is also recommended that you check that your insurance cover is appropriate for the hazards present.

Other natural hazard information

No other information found.

7. Other land and building classifications

In this section: information concerning the land and the property that the Council has the discretion to include if it considers it to be relevant

No information located.

8. Private and Public stormwater and sewerage drains

In this section: Information on private and public stormwater and sewerage drains as shown in the Council's records.

There is Council sewer reticulation available with a lateral. The location of the sewer lateral is shown on the services network plan. The sewer lateral has multiple consumers using the one lateral. An as-built plan of private drainage is provided with this LIM.

Stormwater discharge should be confined to site or discharged to the kerb and channel. There is no record of any Council services running through the property.

For further information on this section, contact the **Plumbing & Drainage Team** on 0800 486 486.

9. Drinking water supply

In this section: information on whether the land is supplied with drinking water and if so, whether the supplier is the owner of the land or a networked supplier; any conditions that are applicable; and any information the Council has about the supply.

Council has a potable water supply system available with an ordinary on demand metered water supply connection. The Council service valve (manifold/toby) is shown on the services network plan provided with this LIM.

The water supply connection has multiple consumers using the one connection.

For further information on this section, contact the **Plumbing & Drainage Team** on 0800 486 486.

10. Network utility information

In this section: information which has been notified to the Council by any network utility operator pursuant to the Building Act 1991 or the Building Act 2004.

Contact Electra for power availability and Vector for gas availability.

11. Other information about the property

In this section: information concerning the land and the property that the Council has the discretion to include if it considers it to be relevant

No information found.

Cultural and Archaeological

The settlement history of the Kāpiti Coast suggests that there are still an unknown number of unidentified cultural and archaeological sites within the District and indeed these are still being discovered during earthworks from time to time. The Heritage NZ Pouhere Taonga Act 2014 provides for substantive penalties for unauthorised destruction or modification of an archaeological site.

More detail on what to look for and who to contact can be found on our website:

www.kapiticoast.govt.nz/Our-District/Tangata-Whenua

Development Impact Fees

Development Impact Fees consist of a combination of development contributions and financial contributions (including Reserves Contributions) from all new developments e.g. a new residential dwelling or a subdivision as well as new or expanded non-residential buildings.

Further information on the range of Development Impact Fees can be found on

[Development impact fees - Kāpiti Coast District Council](#)

12. Glossary of Terms and Maps attached

Aerial Photograph

A birds-eye view in colour of the property and its surrounds.

Deposited Plan

Sometimes referred to as a 'Flats Plan' or 'Title Plan.' A Deposited Plan covers more than one lot (or property) and has a diagram showing the boundary distances and the land area. A Record of Title relates to a specific property and shows current owner and interests (such as mortgages, encumbrances, and easements).

Building Information

This includes any information Council holds about any structure that is on the lot (property), e.g. plumbing, drainage and floor plans and elevation drawings of the building and any alterations or additions to it, together with any code compliance certificates. This may also include technical reports (such as geotechnical and/or structural reports) if available.

Services Network Map

Information on private and public stormwater and sewerage drains on the property as shown in Council's records.

Location of Health and Alcohol Licenses

This map shows the location of registered businesses in the neighbourhood that hold health and alcohol licenses.

Resource Consents

Included with this LIM are Reports and Maps of resource consents (if applicable that relate to the property) and a list of resource consents in the neighbourhood of the property that have been notified. The District Plan contains rules about different types of activities in different parts of the district. Anything not permitted by the Plan requires a resource consent. When a resource consent application is received the Council determines whether or not to notify it on the basis of the environmental effects under Section 95A-F of the Resource Management Act 1991.

Designation(s) (if applicable)

A designation is a planning technique used by Ministers of the Crown, councils and network utility operators approved as requiring authorities under section 167 of the Resource Management Act 1991. It provides for 'spot zoning' over a site, area or route in a district plan which authorises the requiring authority's work and activity on the site, area, or route without the need for a land use resource consent.

District Plan

Every city and district council is required to have a District Plan under the Resource Management Act 1991. The District Plan plays a big part in how Kāpiti develops. The rules in the Plan determine what you can and can't do on your property without permission from Council - whether it be subdividing, renovating, building a new garage or deck, or starting a home business. This LIM includes maps which show the Zone, Precinct, or Development Area (if relevant), the Features, Overlays and the Natural Hazards that relate to the rules in the District Plan.

Latest Flood Hazards

To better understand the extent of the flood hazard risk in the District and to assist in the potential mitigation of this risk, Council has over the years undertaken a number of floodplain management investigations. This map shows the latest flood hazard information; these are not necessarily included in the Operative District Plan (2021). This information is particularly relevant if you are considering subdividing the land or constructing a building.



RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
CROSS LEASE
Historical Search Copy



R.W. Muir
Registrar-General
of Land

Constituted as a Record of Title pursuant to Sections 7 and 12 of the Land Transfer Act 2017 - 12 November 2018

Identifier **WN38C/126**

Land Registration District **Wellington**

Date Issued 07 August 1990

Prior References

WN7A/1482

Estate Fee Simple - 1/2 share
Area 809 square metres more or less
Legal Description Part Lot 1 Deposited Plan 22341
Original Registered Owners
Lorraine Edith Gollop-Finn

Estate	Leasehold	Instrument	L B100491.1
		Term	999 years commencing on 1.9.1990

Legal Description Flat 1 Deposited Plan 63413
Original Registered Owners
Lorraine Edith Gollop-Finn

Interests

Subject to reservation as to Coal, Gold and Silver as set out in No. 516880 (Affects Fee Simple)
Appurtenant hereto are rights to drain and discharge stormwater created by Transfer 661410.2 - 10.12.1984 at 2.55 pm
(Affects Fee Simple)

The easements created by Transfer 661410.2 are subject to Section 309 (1) (a) Local Government Act 1974

B100491.1 Lease of Flat 1 DP 63413 Term 999 years commencing on 1.9.1990 Composite CT WN38C/126 issued -
7.8.1990 at 11.39 am (Affects Fee Simple)

B100491.2 Lease of Flat 2 DP 63413 Term 999 years commencing on 1.9.1990 Composite CTWN38C/127 issued -
7.8.1990 at 11.39 am (Affects Fee Simple)

6332935.1 Transfer to Riqueza Holdings Limited - 3.3.2005 at 9:00 am

6332935.2 Mortgage to ASB Bank Limited - 3.3.2005 at 9:00 am

9053924.1 Discharge of Mortgage 6332935.2 - 4.5.2012 at 4:48 pm

9053924.2 Transfer to M C United Properties Limited - 4.5.2012 at 4:48 pm

9053924.3 Mortgage to ASB Bank Limited - 4.5.2012 at 4:48 pm

11028590.1 Discharge of Mortgage 9053924.3 - 16.2.2018 at 4:32 pm

11028590.2 Transfer to Paul David Bull and Christine Sarah Bull - 16.2.2018 at 4:32 pm

References

Prior C/T 7A/1482

Transfer No.

N/C. Order No.

Lease: B.100491.1

Land and Deeds 69



REGISTER

CERTIFICATE OF TITLE UNDER LAND TRANSFER ACT **FOR 1/2 SHARE AND LEASEHOLD INTEREST**

This Certificate dated the 7th day of August one thousand nine hundred and ninety under the seal of the District Land Registrar of the Land Registration District of WELLINGTON

WITNESSETH that PAEKAKARIKI ENTERPRISES LIMITED at Paraparaumu is seised of an estate in fee simple as to an undivided one-half share

~~XXXXXXXXXXXXXXXXXXXX~~ (subject to such reservations, restrictions, encumbrances, liens, and interests as are notified by memorial underwritten or endorsed hereon) in the land hereinafter described, delineated with bold black lines on the plan hereon, be the several admeasurements a little more or less, that is to say: All that parcel of land containing 809 square metres more or less situate in the Borough of Kapiti being Part Lot 1 on Deposited Plan 22341

AND THIS CERTIFICATE FURTHER WITNESSETH THAT PAEKAKARIKI ENTERPRISES LIMITED, abovenamed

is seised of an estate of Leasehold (subject as aforesaid) created by Lease B.100491.1 for a term of 999 years commencing on 1.9.1990 in Flat 1 on Deposited Plan 63413 delineated with bold black lines on the plan hereon



Assistant Land Registrar

MEMORIALS AFFECTING FEE SIMPLE

Interests at date of Issue:

- Appurtenant hereto are grant of rights to drain and discharge stormwater over the part Lot 1 marked "B" on Plan 56364 - See Transfer 661410.2 - 10.12.1984 at 2.55 p.m. (Subject to Section 309(1)(a) Local Government Act 1974).

B.147735.1 Transfer to Jentolorra Enterprises Limited at Paraparaumu - 6.3.1991 at 11.09 a.m.

B.606416.2 Transfer to Lorraine Edith Gollop-Finn, of Waikanae, Land Agent - 8.7.1997 at 3.40 p.m.

- Subject to reservation as to Coal, Gold and Silver as set out in No.516880

- The following Leases were registered on 7.8.1990 at 11.39 a.m. for a term of 999 years commencing on 1.9.1990

LEASE	FLATS PLAN 63413	LEASE AND SHARE C.T.
B.100491.1	Flat 1	38C/126
B.100491.2	Flat 2	38C/127

A.L.R.

MEMORIALS AFFECTING BOTH ESTATES

Measurements are Metric

No. 38C/126

APPROVED REGISTERED - DME2 PURSUANT TO SECTION 111 OF THE LPA, THE BUILDINGS CONTAINING FLATS 1 & 2 AS SHOWN ON THESE PLANS WERE CONSTRUCTED IN ACCORDANCE WITH THE LPA, AND THE BUILDINGS ARE NOT SUBJECT TO THE LPA. THESE PLANS WERE PREPARED BY THE SURVEYOR OF THE DISTRICT OF KAPITI BOROUGH, AND THE SURVEYOR HAS BEEN SATISFIED THAT THE PLANS ARE CORRECT AND ACCURATE. DATED THIS 7 DAY OF December 1987 <i>[Signature]</i> TOWN CLERK		APPROVED REGISTERED - DME2 PURSUANT TO SECTION 111 OF THE LPA, THE BUILDINGS CONTAINING FLATS 1 & 2 AS SHOWN ON THESE PLANS WERE CONSTRUCTED IN ACCORDANCE WITH THE LPA, AND THE BUILDINGS ARE NOT SUBJECT TO THE LPA. THESE PLANS WERE PREPARED BY THE SURVEYOR OF THE DISTRICT OF KAPITI BOROUGH, AND THE SURVEYOR HAS BEEN SATISFIED THAT THE PLANS ARE CORRECT AND ACCURATE. DATED THIS 7 DAY OF December 1987 <i>[Signature]</i> TOWN CLERK	
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LAND DISTRICT WELLINGTON SURVEY BLK. & DIST. III KAPITI NZMS 261 SH. R26 RECORD MAP No. 58.13	FLATS 1 & 2 ON PART LOT 1 D.P. 22341	TERRITORIAL AUTHORITY KAPITI BOROUGH Surveyed by Cuttriss, McKenzie Martin Ltd Scale 1:200 Date November 1987
--	--	--

Total Area Comprised in C.T. 79/1492 L. WILLIAM MARK FOTHER... R. PARABRAID... Registered Surveyor and holder of an authority to survey under the Survey Act 1982. I hereby certify that this plan has been made from surveys conducted by me or under my direction, that the plan and the boundaries shown thereon are true and correct, and that I am a duly qualified and licensed Surveyor under the Survey Act 1982. Dated at PARABRAID this 10th day of December 1987. Signature <i>[Signature]</i> Field Book No. A-1777. Traverse Book No. 22341 Reference Plan D.P. 16546, 22341 Examined & Found Correct Approved as to Survey <i>[Signature]</i> 6.11.88 Registered Surveyor Deposited this 15th day of December 1987 By <i>[Signature]</i> District Land Registrar No. 8593 of 12/87 1:200	1:200
--	--------------



RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
CROSS LEASE
Historical Search Copy




R.W. Muir
Registrar-General
of Land

Constituted as a Record of Title pursuant to Sections 7 and 12 of the Land Transfer Act 2017 - 12 November 2018

Identifier **WN38C/127**

Land Registration District **Wellington**

Date Issued 07 August 1990

Prior References

WN7A/1482

Estate Fee Simple - 1/2 share
Area 809 square metres more or less
Legal Description Part Lot 1 Deposited Plan 22341
Original Registered Owners
Kathleen Jeanette Foote

Estate	Leasehold	Instrument	L B100491.2
		Term	999 years commencing on 1.9.1990

Legal Description Flat 2 Deposited Plan 63413
Original Registered Owners
Kathleen Jeanette Foote

Interests

Subject to reservation as to Coal, Gold and Silver as set out in No.516880 (Affects Fee Simple)
Appurtenant hereto are rights to drain and discharge stormwater created by Transfer 661410.2 - 10.12.1984 at 2.55 pm (Affects Fee Simple)
B100491.1 Lease of Flat 1 DP 63413 Term 999 years commencing on 1.9.1990 Composite CT WN38C/126 issued - 7.8.1990 at 11.39 am (Affects Fee Simple)
B100491.2 Lease of Flat 2 DP 63413 Term 999 years commencing on 1.9.1990 Composite CT WN38C/127 issued - 7.8.1990 at 11.39 am (Affects Fee Simple)
12458657.1 Transfer to Bradshaw Limited - 20.5.2022 at 11:36 am

References

Prior C/T 7A/1482

Transfer No.

N/C. Order No.

Lease: B.100491.2

Land and Deeds 69



REGISTER

CERTIFICATE OF TITLE UNDER LAND TRANSFER ACT

FOR 1/2 SHARE AND LEASEHOLD INTEREST

This Certificate dated the 7th day of August one thousand nine hundred and ninety under the seal of the District Land Registrar of the Land Registration District of WELLINGTON

WITNESSETH that PAEKAKARIKI ENTERPRISES LIMITED at Paraparaumu is seized of an estate in fee simple as to an undivided one-half share

~~XXXXXX~~ (subject to such reservations, restrictions, encumbrances, liens, and interests as are notified by memorial underwritten or endorsed hereon) in the land hereinafter described, delineated with bold black lines on the plan hereon, be the several admeasurements a little more or less, that is to say: All that parcel of land containing 809 square metres more or less situate in the Borough of Kapiti being Part Lot 1 on Deposited Plan 22341

AND THIS CERTIFICATE FURTHER WITNESSETH THAT PAEKAKARIKI ENTERPRISES LIMITED, abovenamed

is seized of an estate of Leasehold (subject as aforesaid) created by Lease B.100491.2 for a term of 999 years commencing on 1.9.1990 in Flat 2 on Deposited Plan 63413 delineated with bold black lines on the plan hereon



Assistant Land Registrar

MEMORIALS AFFECTING FEE SIMPLE

Interests at date of Issue:

- Appurtenant hereto are grant of rights to drain and discharge stormwater over the part Lot 1 marked "B" on Plan 56364 - See Transfer 661410.2 - 10.12.1984 at 2.55 p.m. (Subject to Section 309(1)(a) Local Government Act 1974).

B:110004.1 Transfer to Malcolm Leonard Hinder, Motor Mechanic and Leigh Christine Hinder, Senior Clerk, both of Paraparaumu - 21.9.1990 at 2.06 pm.

E. G. Gault
A.L.R.

- Subject to reservation as to Coal, Gold and Silver as set out in No.516880

B.356240.2 Mortgage to Citibank N.A. - 2.5.1994 at DISCHARGED
4/6/98

C. C. H. for DLR
A.L.R.

- The following Leases were registered on 7.8.1990 at 11.39 a.m. for a term of 999 years commencing on 1.9.1990

B668983.2 Transfer to Kathleen Jeanette Foote 4.6.1998 at 9.38.

J. H. H.
for DLR

LEASE	FLATS PLAN	LEASE AND
	63413	SHARE C.T.
B.100491.1	Flat 1	38C/126
B.100491.2	Flat 2	38C/127

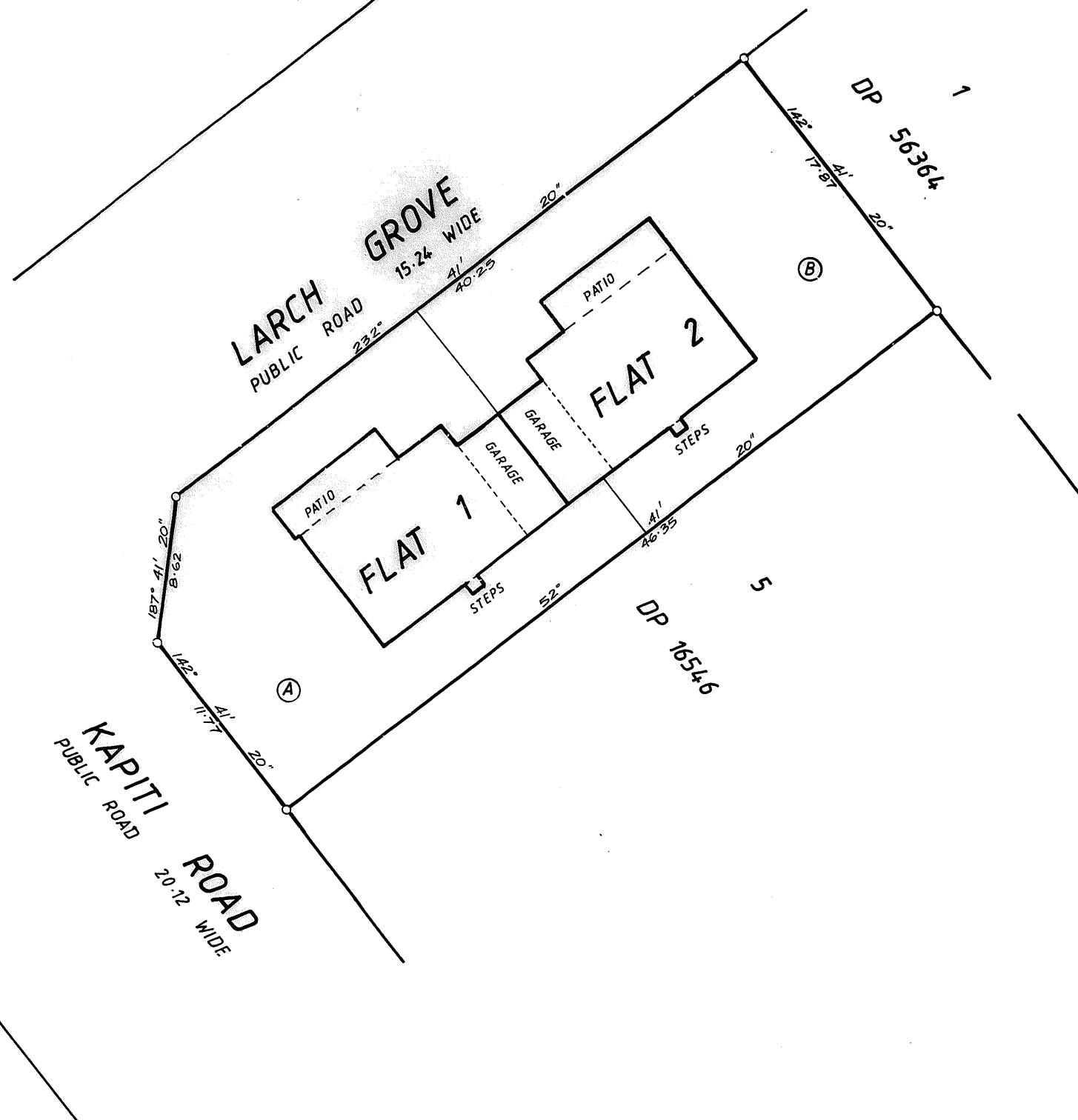
A.L.R.

MEMORIALS AFFECTING BOTH ESTATES
Measurements are Metric

No. 38C/127

No. 38C/127

[illegible]



Approvals

REGISTERED OWNER

AREAS LABELLED A-B TO BE SUBJECT TO RESTRICTIVE COVENANT SEE LEASES

PURSUANT TO SECTION 314 OF THE LOCAL GOVERNMENT ACT 1974 I HEREBY CERTIFY THAT THE BUILDINGS CONTAINING FLATS 1 & 2 AS SHOWN OR DESCRIBED HEREON WAS CONSTRUCTED BEFORE THE FIRST DAY OF APRIL 1979 AND WAS PROVIDED WITH SUCH SAFEGUARDS AGAINST FIRE AND MEANS OF ESCAPE IN CASE OF FIRE AS ARE REQUIRED BY THE BYLAWS OF THE KAPITI BOROUGH COUNCIL APPLYING ON THE DATE HEREOF

DATED THIS 7 DAY OF December 1987

TOWN CLERK

Total Area.....

Comprised in ...C.T. 7A/1482.....

I, WILLIAM MARK EDGAR OF PARAPARAUMU.....
Registered Surveyor and holder of an annual practising certificate for who may act as a registered surveyor pursuant to the proviso to section 33(2) of the Surveyors Act 1966 hereby certify that this plan has been made from surveys executed by me or under my directions, that both plan and survey are correct and have been made in accordance with the Survey Regulations 1972.

Dated at PARAPARAUMU this 10th day of December 1987 Signature W.M. Edgar

Field Book p. Traverse Book p.

Reference Plans ...DP 16546... 22341...

Examined P Berry Correct A Nicoll

Approved as to Survey

6/11/88 J.R.P. Maseyk
for Chief Surveyor

Deposited this 15th day of November 1988

District Land Registrar

File 8567
Received 15/12/87
Instructions

63413

LAND DISTRICT WELLINGTON

SURVEY BLK. & DIST. III KAPITI

NZMS 261 SHT R26 RECORD MAP No 58.13

FLATS 1 & 2 ON PART LOT 1

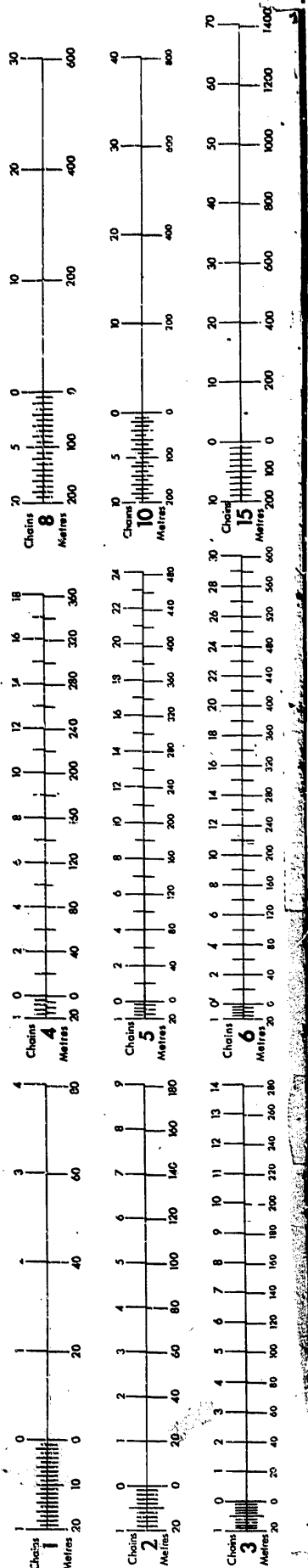
D.P. 22341

TERRITORIAL AUTHORITY KAPITI BOROUGH

Surveyed by Cuttriss, McKenzie Martin Ltd

Scale 1:200 Date November 1987

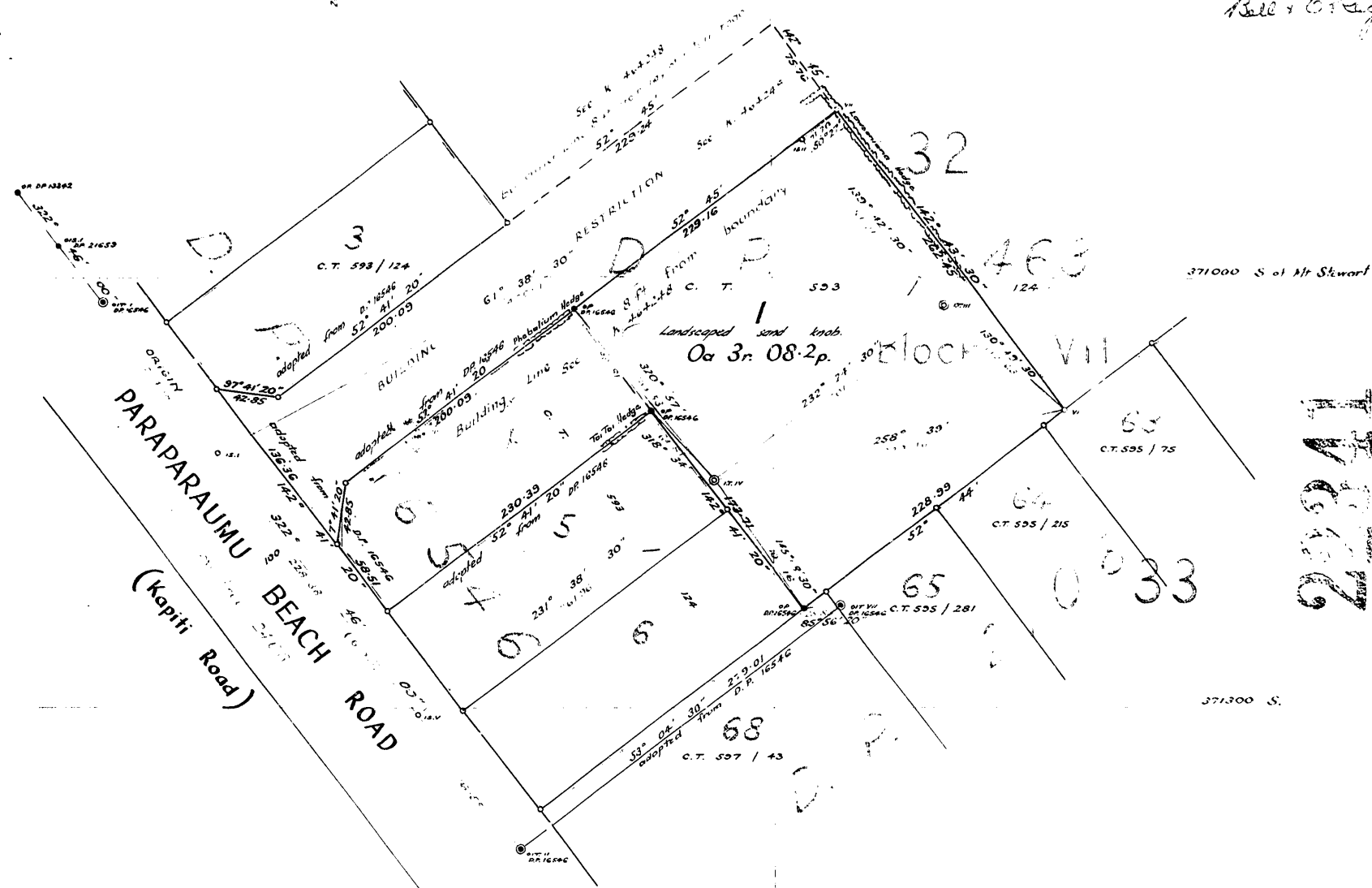
DATE OF PHOTOGRAPHY
26/3/74



Land Transfer Office
Received 4/9/60
Title Reference 419/60
503/124
310 Referred to L. T. Surveyor

22341

Lot 1 C.T. Ref. 503/124



Deposited this 14 day
of June 1963
District Land Registrar
21-10
4/9/60
Ball & Co.

Total Area : 0a.3r.08.2p.

Approved under Land Subdivision
in Counties Act, 1946

See Scheme plan D 2681

Approved as to Survey

Stuart Robertson Foster
Chief Surveyor

Received 22/3/60
Reference plans D 2681
DPs 463, 2108, 16546, 1842, 2659
Field book 183 p. 280
Traverse book 174 p. 11
Examined by 25.6.60 26/6/60
Recorded 26/6/60
Correct 26/6/60
L. T. Surveyor

Subdn. of Part Sec. 32, Block VII, Town of Paraparaumu (D.P. 463)
Part being Lot 4, D. P. 16546

Comprised in C.T. 593/124 (Pt.)
Survey Block & District BIK III KAPITI S.D.
Land District Wellington Local Body Hutt County
Scale 60 fks. to an inch Surveyed by Messrs. Foster and Foster Date May 1960

I, Stuart Robertson Foster, of Wellington, Registered Surveyor and holder of an annual practising certificate, do solemnly and sincerely declare that this plan has been made from surveys executed by me; that both plan and survey are correct, and have been made in accordance with the regulations under the Surveyors Act, 1938. And I make this solemn declaration, conscientiously believing the same to be true and by virtue of the Oaths and Declarations Act, 1957.

Declared at Wellington this 14 day of June 1963
before me

Justice of the Peace, (or Solicitor, or Notary Public.)

Approved

Applicant or Registered Owner

This space reserved for plan numbers

22341

Aerial Photography

56B Kapiti Road, Paraparaumu (FLAT 2 DP 63413 1/2 INT 809 M2 BEING PT LOT 1 DP 22341)



0 10 20 Metres

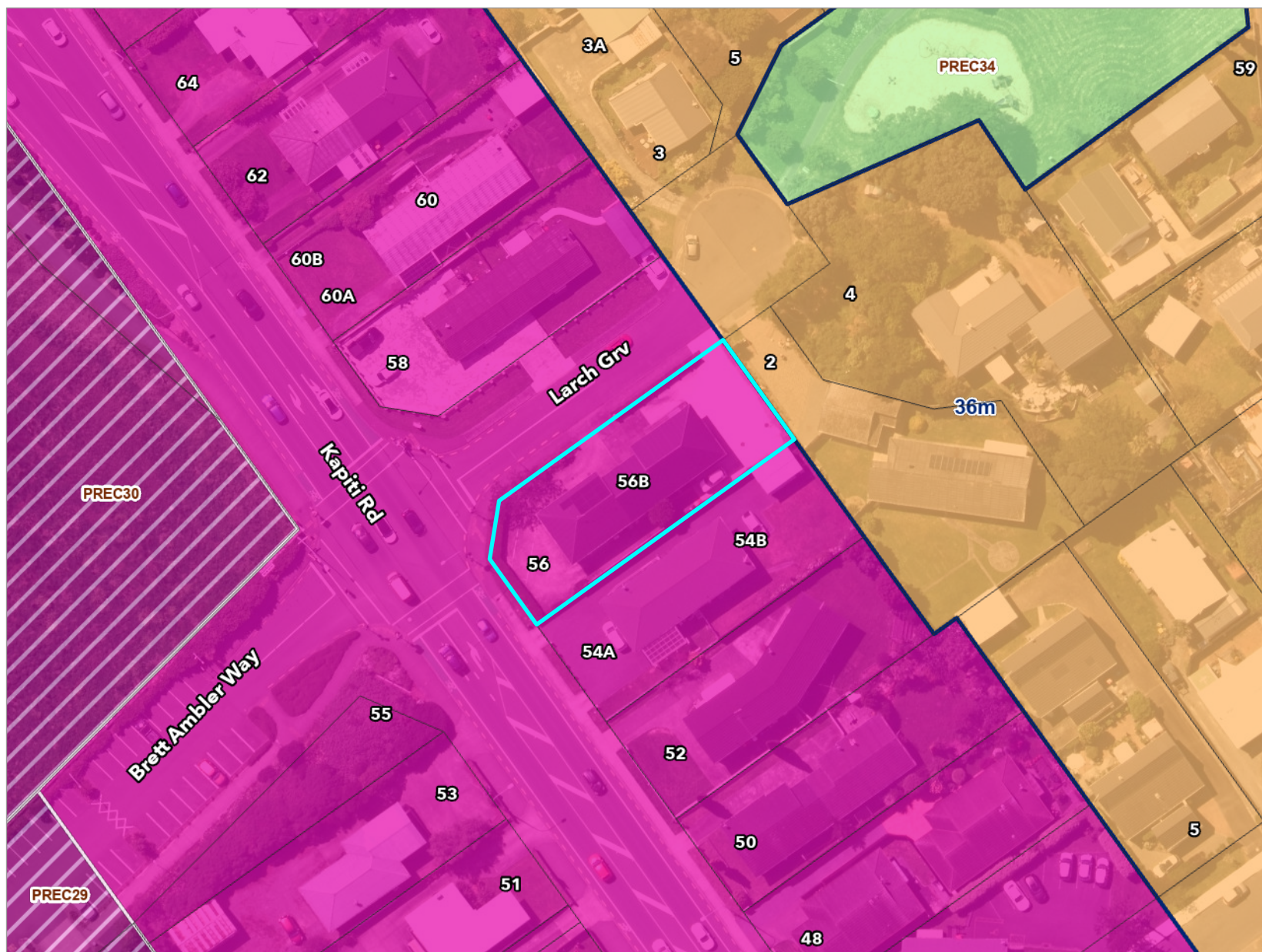
Scale @ A4 - 1:500

Date Printed: August 20, 2026

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Operative District Plan 2021 - Zones and Precincts

56B Kapiti Road, Paraparaumu (FLAT 2 DP 63413 1/2 INT 809 M2 BEING PT LOT 1 DP 22341)



Key to map symbols

- Height Variation Control Area
- Metropolitan Zone Precinct
- Precinct
- High Density Residential Zone
- Mixed Use Zone
- Metropolitan Centre Zone
- Open Space Zone



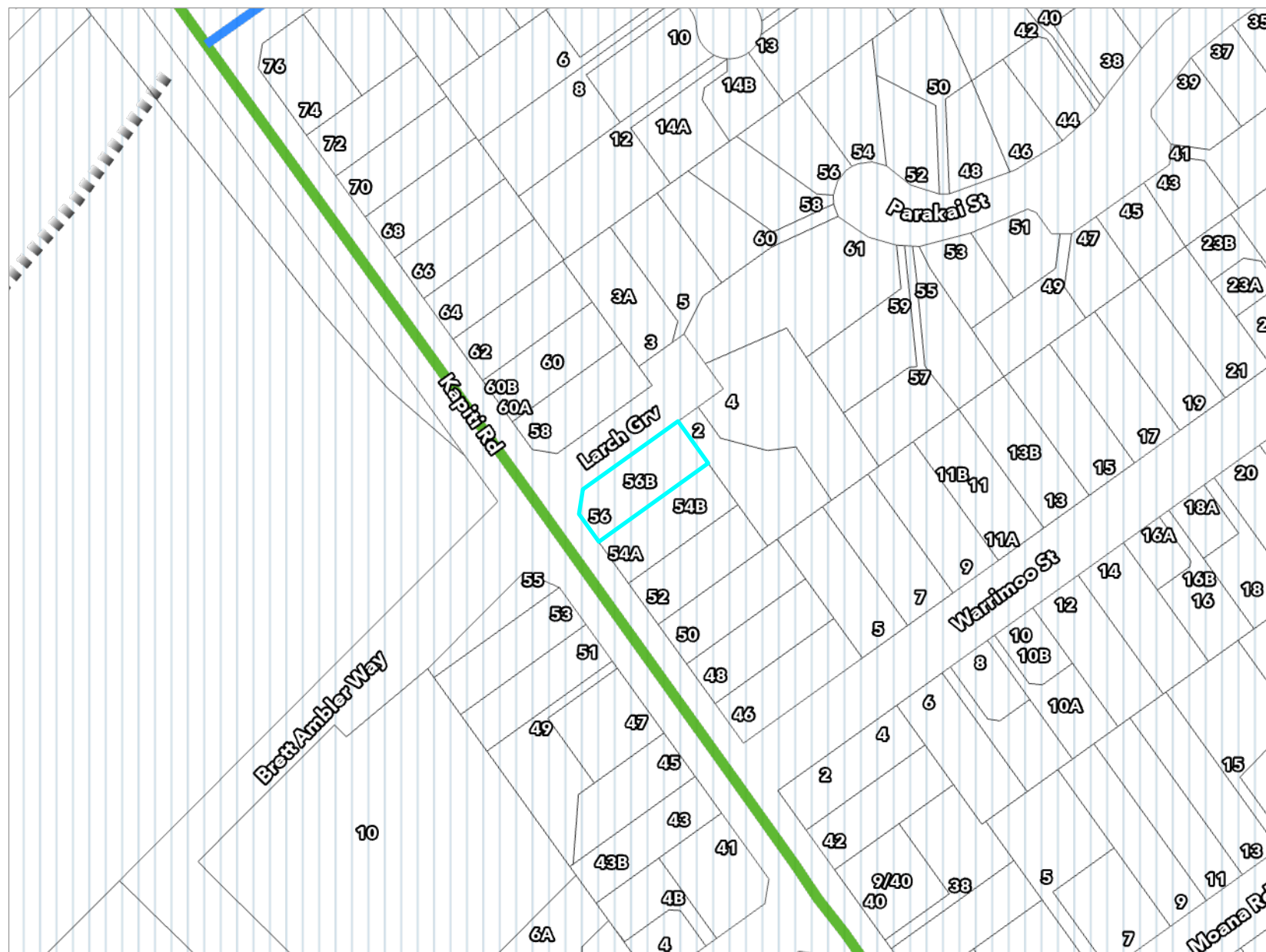
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Scale @ A4 - 1:850

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Operative District Plan 2021 - Historical, Cultural, Infrastructure & Districtwide

56B Kapiti Road, Paraparaumu (FLAT 2 DP 63413 1/2 INT 809 M2 BEING PT LOT 1 DP 22341)



Key to map symbols

- Major Community Connectors
- Local Community Connectors
- Notional Roads
- Coastal Environment

The 'Key to map symbols' column above will be empty if no relevant District Plan Features are present in the area shown on this map.



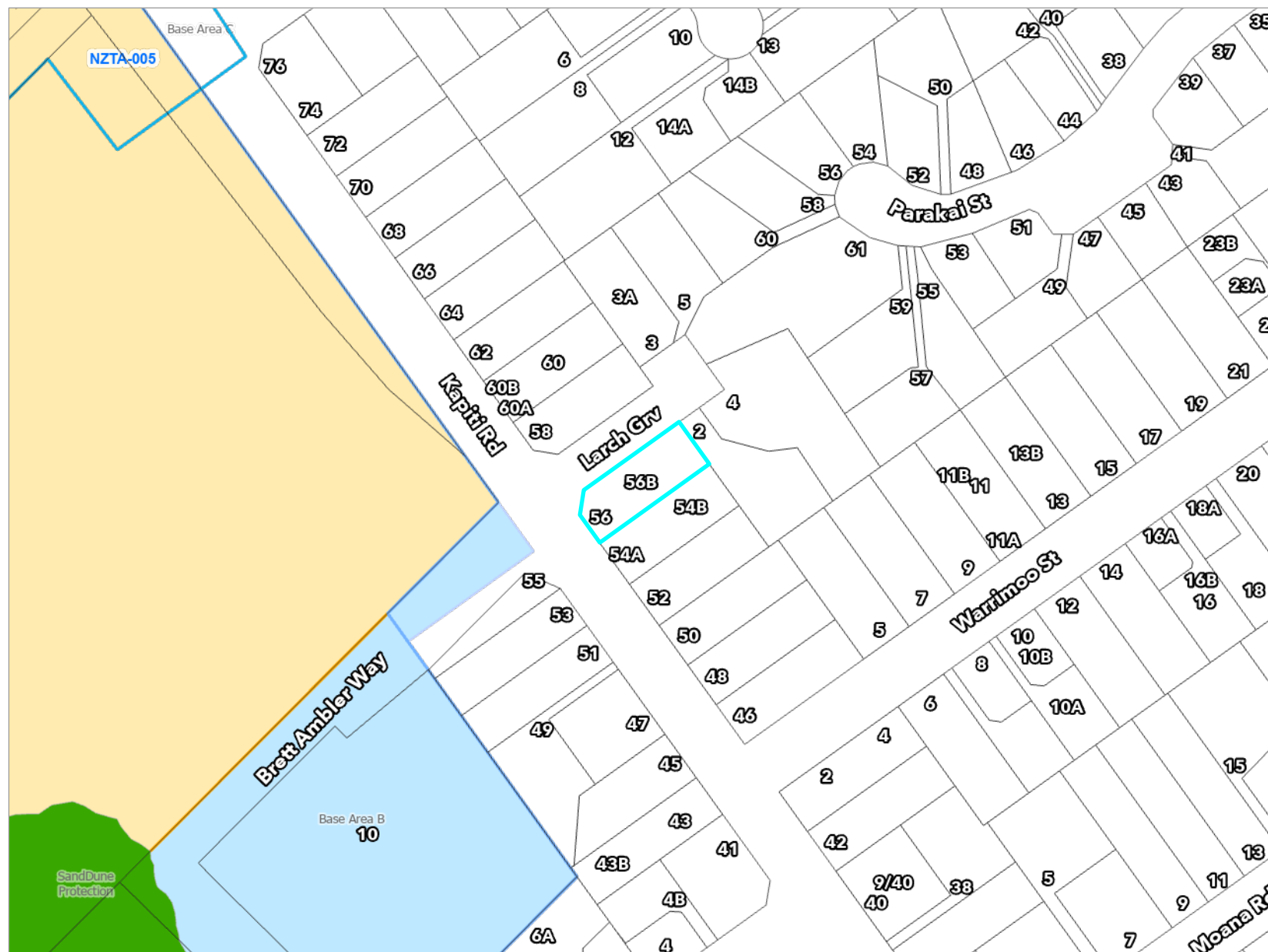
0 40 80 Metres
Scale @ A4 - 1:2,000

Date Printed: August 20, 2026

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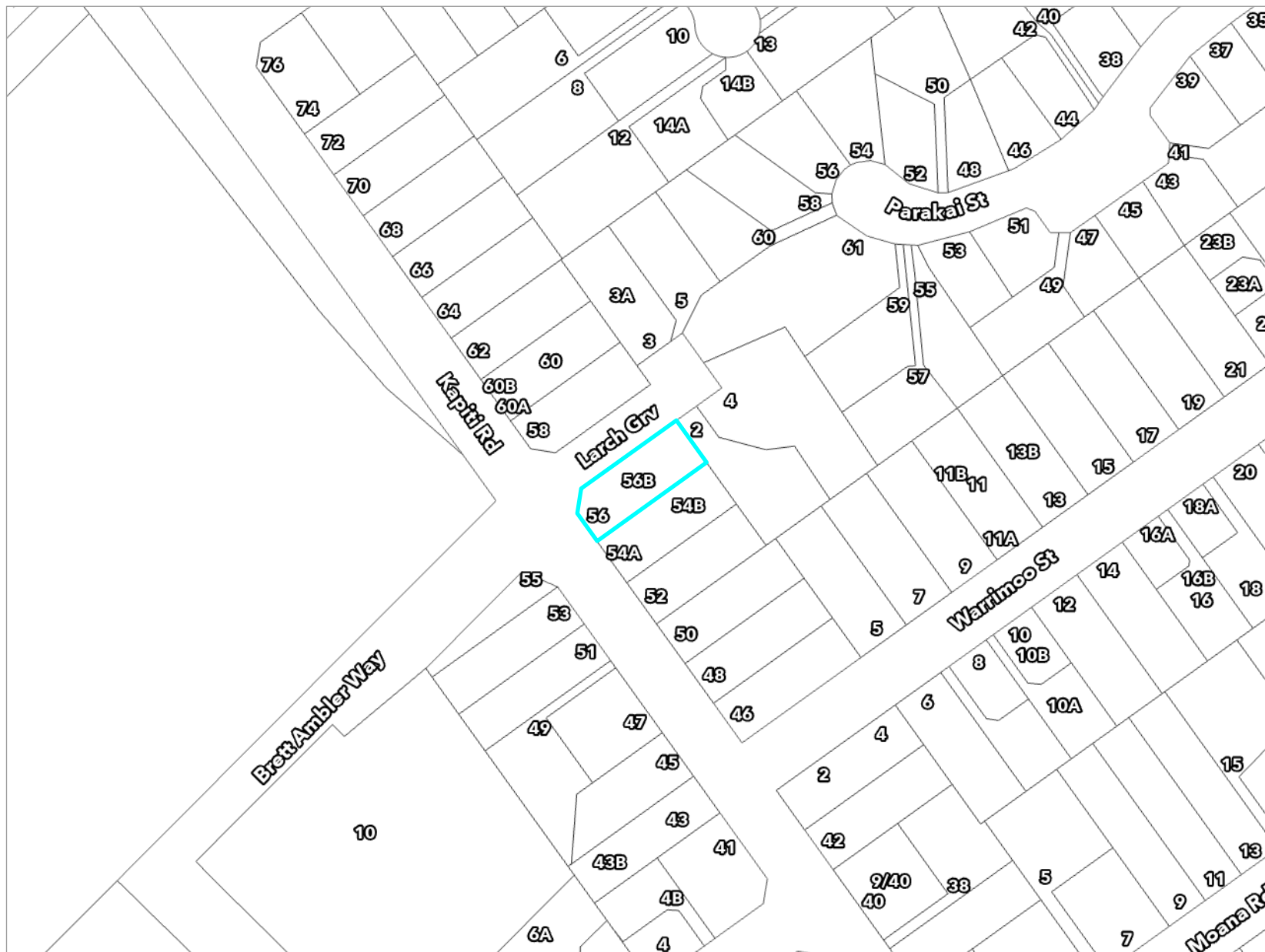
Operative District Plan 2021 - Designations & Miscellaneous Features

56B Kapiti Road, Paraparaumu (FLAT 2 DP 63413 1/2 INT 809 M2 BEING PT LOT 1 DP 22341)



Operative District Plan 2021 - Natural Features

56B Kapiti Road, Paraparaumu (FLAT 2 DP 63413 1/2 INT 809 M2 BEING PT LOT 1 DP 22341)



Key to map symbols

The 'Key to map symbols' column above will be empty if no relevant District Plan Features are present in the area shown on this map.



0 40 80 Metres

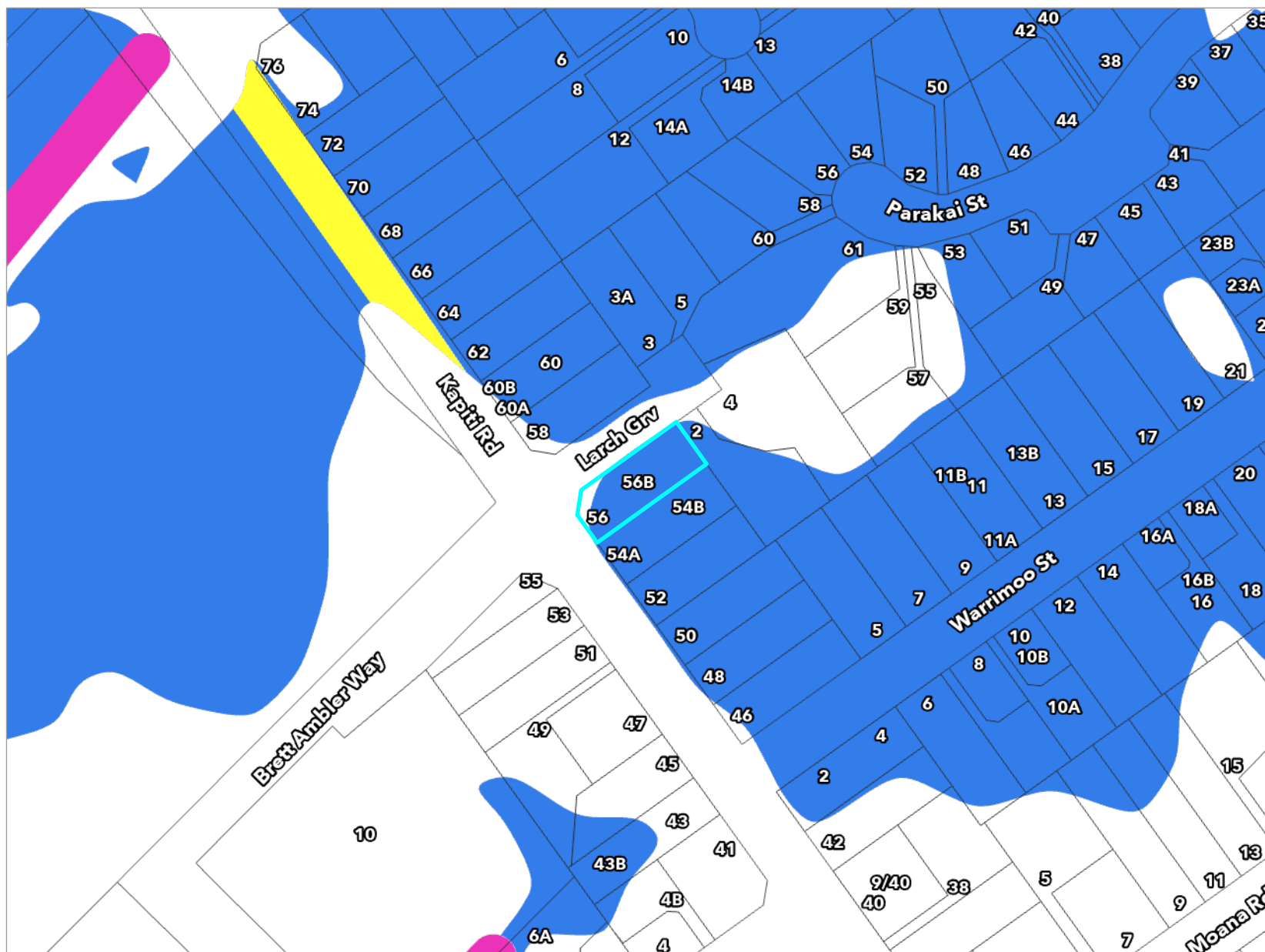
Scale @ A4 - 1:2,000

Date Printed: August 20, 2026

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56B Kapiti Road, Paraparaumu (FLAT 2 DP 63413 1/2 INT 809 M2 BEING PT LOT 1 DP 22341)

- Stream Corridor
- Overflow Path
- Ponding Area



The 'Key to map symbols' column above will be empty if no relevant District Plan Features are present in the area shown on this map.



0 40 80 Metres

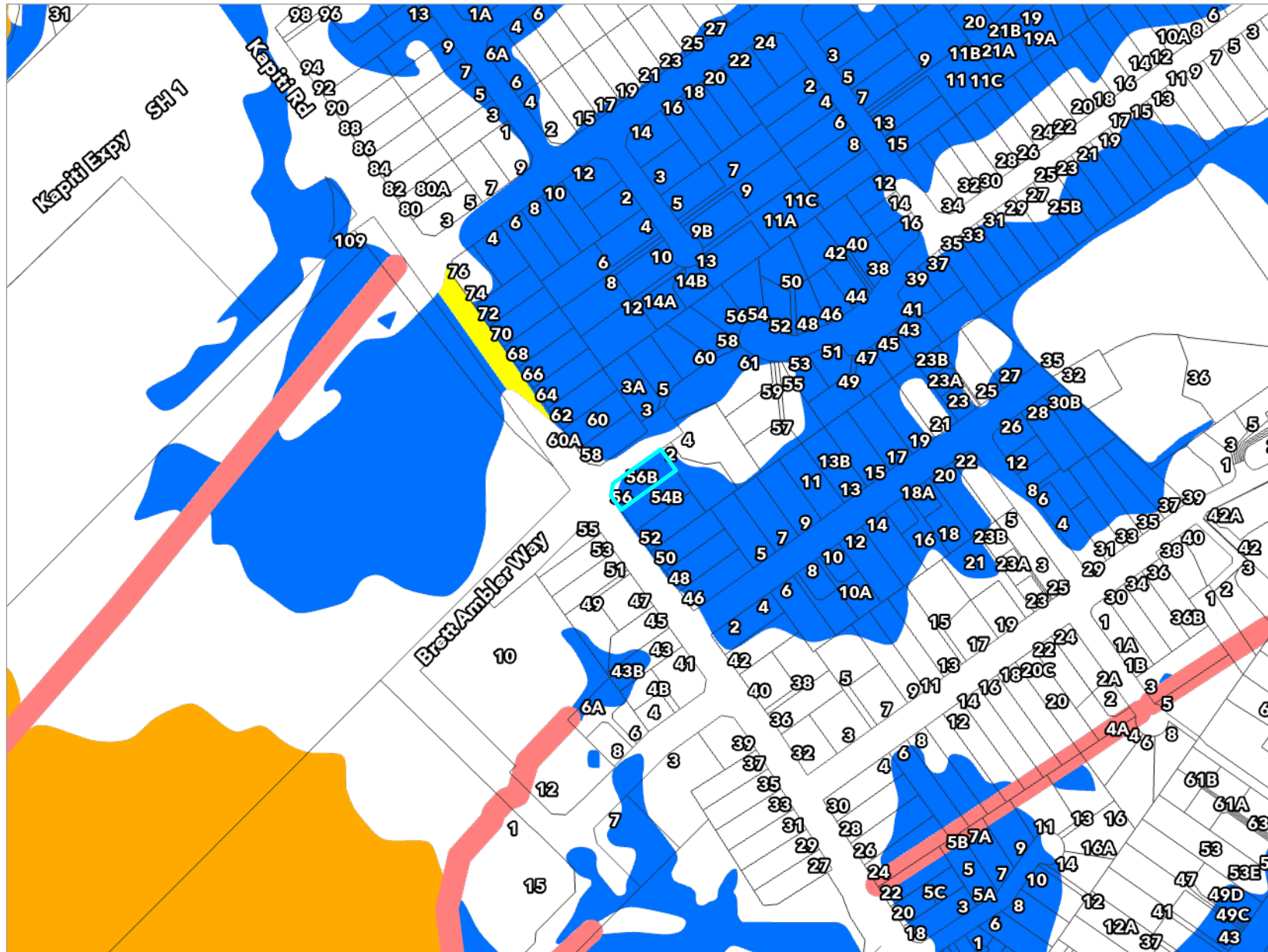
Scale @ A4 - 1:2,000

Date Printed: August 20, 2026

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Latest Flood Hazards

56B Kapiti Road, Paraparaumu (FLAT 2 DP 63413 1/2 INT 809 M2 BEING PT LOT 1 DP 22341)



Key to map symbols

- Stream Corridor
- Overflow Path
- Storage
- Ponding

The 'Key to map symbols' column above will be empty if no Flood Hazards are present in the area shown on this map.



0 90 180 Metres

Scale @ A4 - 1:4,000

Date Printed: August 20, 2026

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Resource Consents Map

56B Kapiti Road, Paraparaumu (FLAT 2 DP 63413 1/2 INT 809 M2 BEING PT LOT 1 DP 22341)



Key to map symbols

 Resource Consents

The 'Key to map symbols' column above will be empty if no Resource Consents are present in the area shown on this map.



0 20 40 Metres

Scale @ A4 - 1:1,000

Date Printed: August 20, 2026

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Resource Consents Report

Resource Consent Number	Location	Valuation Number	Property Legal Description	Consent Type	Consent Proposal	Notified Yes/No	Hearing Yes/No	Consent Status	Decision Date	App.Date
010207	11B Warrimoo Street, Paraparaumu	1525224100B	FLAT 2 DP 41248 1/2 INT 965 M2 BEING	SC	AMENDMENT TO CROSS LEASE PLAN AT 11B WARRIMOO ST	N	N	s.223 Approval	31/8/2001	2/8/2001
030275	53 Kapiti Road, Paraparaumu	1525226300	LOT 3 DP 22318 CT 937/2	LD	Relocation of building. Commercial use in	N	N	Decision Issued	8/10/2003	19/9/2003
030162	53 Kapiti Road, Paraparaumu	1525226300	LOT 3 DP 22318 CT 937/2	LD	COMMERCIAL USE OF RESIDENTIAL PROPERTY AS OFFICE	N	N	Decision Issued	17/7/2003	17/6/2003
060031	46 Kapiti Road, Paraparaumu	1525226600	LOT 66 DP 2108 CT 278/58	LD	Operation of chiropractic clinic in residential	N	N	Decision Issued	24/2/2006	2/2/2006
080163	53 Kapiti Road, Paraparaumu	1525226300	LOT 3 DP 22318 CT 937/2	LD	To operate a commercial activity (office and showroom) in a	N	N	Decision Issued	13/8/2008	30/7/2008
120040	56 Kapiti Road, Paraparaumu	1525227100A	FLAT 1 DP 63413 1/2 INT 809 M2 BEING PT	LD	Utilize a residential property for a commercial office	N	N	Decision Issued	31/5/2012	12/4/2012
100032	3A Larch Grove, Paraparaumu	1525227400B	FLAT 2 DP 47631 HAVING 1/2 INTEREST IN	SC	Application for amendment of a cross lease development at 3A	N	N	s.223 Approval	24/3/2010	5/3/2010

Resource Consent Number	Location	Valuation Number	Property Legal Description	Consent Type	Consent Proposal	Notified Yes/No	Hearing Yes/No	Consent Status	Decision Date	App.Date
950435	60A Kapiti Road, Paraparaumu	1525227600B	FLAT 2 DP 30140 1/2 INT 809 M2 BEING	LC	CROSS LEASE	N	N	s.223 Approval	5/1/1996	15/12/1995
980428	51 Kapiti Road, Paraparaumu	1525226200	LOT 4 DP 22318 CT 943/38	LC	COMMERCIAL ACTIVITY IN RESIDENTIAL AREA - DOCTORS SURGERY	N	N	Decision Issued	11/11/1998	29/10/1998
PB260004	9 Warrimoo Street, Paraparaumu	1525224200	LOT 63 DP 2108 CT 595/75	PB	To construct a new 2.4 metre high fence on the northeast	N	N	Decision Issued	11/2/2026	28/1/2026
PB250022	9 Warrimoo Street, Paraparaumu	1525224200	LOT 63 DP 2108 CT 595/75	PB	To construct a new 2.4 metre high fence on the northeast	N	N	Application Returned incomplete		11/11/2025

Health and Alcohol Licenses

56B Kapiti Road, Paraparaumu (FLAT 2 DP 63413 1/2 INT 809 M2 BEING PT LOT 1 DP 22341)



Key to map symbols

The 'Key to map symbols' column above will be empty if no Health and Alcohol Licences are present in the area shown on this map.



0 20 40 Metres

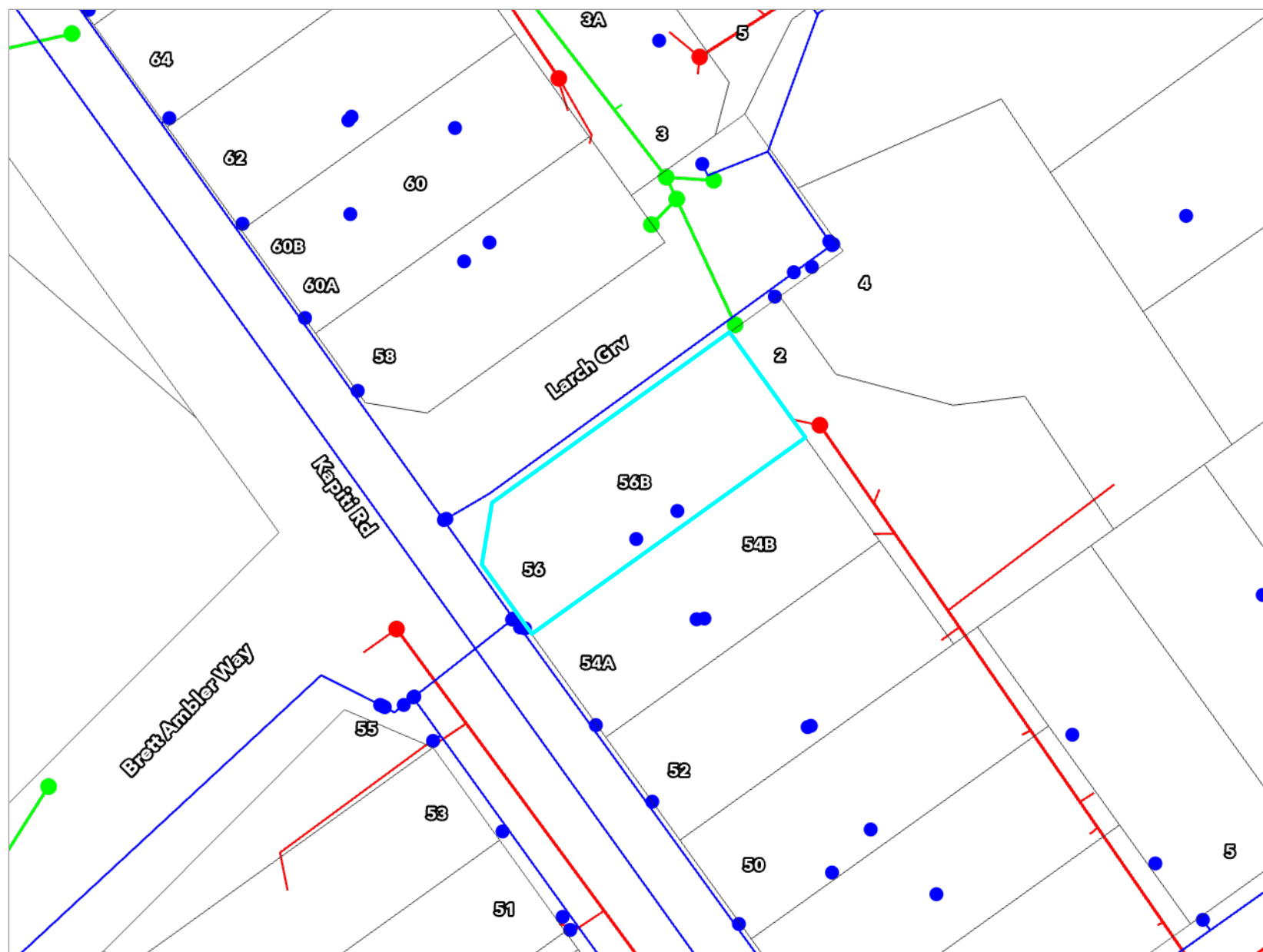
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Date Printed: August 20, 2026

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Services Network

56B Kapiti Road, Paraparaumu (FLAT 2 DP 63413 1/2 INT 809 M2 BEING PT LOT 1 DP 22341)



Key to map symbols

- WS Node
- WS Pipe
- SW Point
- SW Pipe
- SW Lateral
- WW Point
- WW Pipe
- WW Lateral

The 'Key to map symbols' column above will be empty if no Services are present in the area shown on this map.



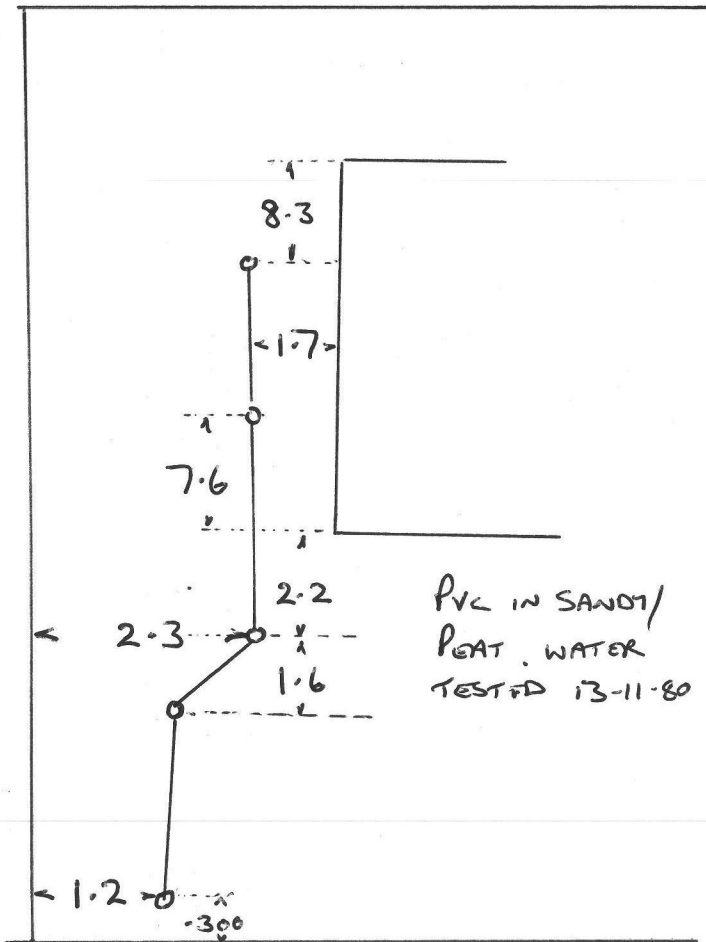
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Scale @ A4 - 1:800

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56 A+B KAPITI RD





Kāpiti Coast District Council

Private Bag 60 601
Paraparaumu 5254
New Zealand

Tel (04) 296 4700
or 0800 486 486

Fax (04) 296 4830 ■
kapiti.council@kapiticoast.govt.nz ■
www.kapiticoast.govt.nz ■

6 June 2012

Laser Electrical
C/- Cuttriss Consultants Ltd
P O Box 386
Paraparaumu 5254
Attention: Dean Raymond

Dear Dean

**RM120040: TO USE A RESIDENTIAL PROPERTY FOR A COMMERCIAL OFFICE
ACTIVITY (LASER ELECTRICAL) AT 56A KAPITI ROAD, PARAPARAUMU.**

We are pleased to enclose your Resource Consent for the above planning application.

As you will see from the Resource Consent there are a number of conditions that need to be complied with.

If you do not agree with the conditions of your consent you may object and have the matter considered by Hearing Commissioners. This is done by lodging an objection in accordance with Section 357 of the Resource Management Act 1991. Please note that, if you do wish to object, you must advise the Resource Consents Manager within 15 working days from the date of receiving this consent.

There is no deposit for an objection. However, a fee of \$216.00 (including GST) is required if Council's Subdivisional Engineer is involved. Time and costs will also be charged unless waived by the Hearing Commissioners and if an objection is upheld there will be no charges; if upheld in part then a proportion of costs will be charged.

Please note also that this consent will lapse within 5 years of the date of issue of this decision unless it is given effect to within that time. You may apply for an extension of the consent before the consent lapses. Council may grant an extension if it is satisfied that the criteria set out in Section 125 of the Resource Management Act 1991 are met.

If you have any concerns or enquiries about the conditions please do not hesitate to contact me on (04) 2964 621.

Thank you for dealing with the Kāpiti Coast District Council.

Yours sincerely

Ross Goodman
Resource Consents Planner



Kāpiti Coast District Council

Private Bag 60 601
Paraparaumu 5254
New Zealand

Tel (04) 296 4700
or 0800 486 486

Fax (04) 296 4830 ■
kapiti.council@kapiticoast.govt.nz ■
www.kapiticoast.govt.nz ■

RESOURCE CONSENT UNDER PART VI OF THE RESOURCE MANAGEMENT ACT 1991 CONSENT NO: RM120040

APPLICANT:	Laser Electrical
LOCATION OF ACTIVITY:	56A Kapiti Road, Paraparaumu
DESCRIPTION OF ACTIVITY:	To use a residential property for a commercial office activity (Laser Electrical).

DECISION:

Granted subject to conditions on 31 May 2012.

The following conditions were imposed under Section 108 of the Resource Management Act 1991:

Conditions:

Monitoring and Review

1. The consent holder shall notify the Council's Compliance Officer of the start and completion dates of the works in writing 48 hours before the works are carried out. The consent holder shall fill out and return (by fax (04) 2964-830 or by post to Private Bag 60601, Paraparaumu) the form that is attached to the decision letter.
2. The consent holder shall pay to the Kapiti Coast District Council the actual and reasonable costs associated with the monitoring of conditions (or review of consent conditions), or supervision of the resource consent as set in accordance with Section 36 of the Resource Management Act 1991. These costs* may include site visits, correspondence and the actual costs of materials or services which may have to be obtained.

*Please refer to Kapiti Coast District Council's current schedule of Resource Management fees for guidance on the current hourly rate chargeable for Council's staff.

General

3. The proposed activity shall be undertaken in general accordance with the Cuttriss Consultants Limited plans titled "Laser Electrical for 56A Kapiti Road, Paraparaumu" Drawing Number 20787 LUC date stamped 'Final approved plans' on 31 May 2012 and specifications lodged with the application RM120040.

4. The Council may undertake a review of conditions of this consent (RM120040) under section 128 of the Resource Management Act 1991 to address any adverse effects of the exercise of the consent. The review may be undertaken within 6 months of the commencement of the activity. All costs associated with any review shall be met by the consent holder.
5. The parking spaces to be formed and marked out on site shall be made of permanent materials.
6. Any signage to be erected or installed relative to the proposed commercial activity (Laser Electrical) is required to comply with the signage standards of the District Plan for the Residential Zone.
7. Signage shall be displayed on site stating that all vehicles exiting the property shall do so in a forward direction only.
8. Vehicle entering or exiting directly onto Kapiti Road is prohibited.
9. Hours of operation shall be limited to:

7.00am to 7.00pm Monday to Fridays inclusive

- 10 The following noise levels are not exceeded at or within any residential boundary:

7am – 10pm – 50 dBA (L10)
10pm – 7am – 45 dBA (L10)

During all night time hours (10pm to 7am) no noise event shall exceed Lmax 75 dBA.

Noise levels shall be in accordance with NZS 6801: 1991 "Measurement of Sound" and assessed in accordance with NZS 6802: 1991 "Assessment of Environmental Sound".

Advice Notes:

- Under Section 125 of the Resource Management Act 1991, this resource consent will lapse in five years, unless it is given effect to within that time.
- It is the consent holder's responsibility to comply with any conditions imposed on this resource consent prior to and during (as applicable) exercising this resource consent.
- Please note that a resource consent is not a consent to build. A building consent must be issued prior to any building work being undertaken.
- Under Section 125 of the Resource Management Act 1991, this resource consent will lapse in five years, unless it is given effect to within that time.
- It is the consent holder's responsibility to comply with any conditions imposed on this resource consent prior to and during (as applicable) exercising this resource consent.

- Please note that a resource consent is not a consent to build. A building consent must be issued prior to any building work being undertaken.
- All costs arising from the exercising of this consent and compliance with its conditions shall be borne by the consent holder.
- The consent holder should not encroach onto adjacent land owned by others without having first obtained their written consent.

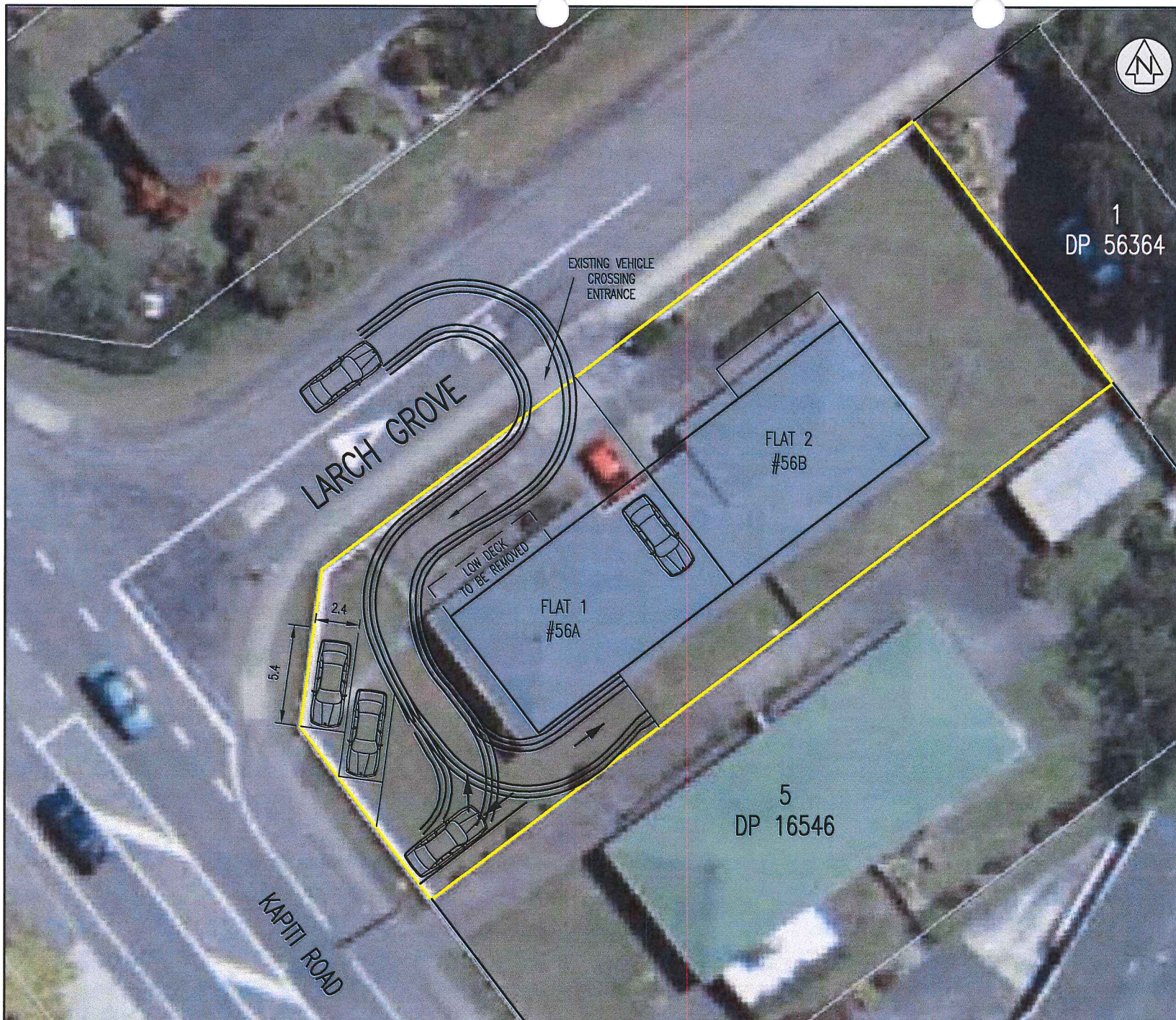
Reasons for Decision:

In accordance with Sections 104 and 104B of the Resource Management Act 1991 the actual and potential effects associated with the proposed activity have been assessed and are outlined in the report.

It is considered that the adverse effects of the proposed activity on the environment will be minor and that the proposed activity is not contrary to the relevant Objectives, Policies and Assessment Criteria of the Kapiti Coast District Plan.



Ross Goodman
Resource Consents Planner



AMENDMENT	NAME	DATE
A PARKING ADDED	DR	04/12
B PARKING ALTERED	DR	05/12

THIS PLAN IS TO BE USED FOR RESOURCE CONSENT PURPOSES ONLY AND NOT TO BE RELIED UPON FOR ANY OTHER PURPOSE WITHOUT THE CONSENT OF CUTTRISS CONSULTANTS LIMITED.

TURNING TEMPLATE SHOWN FOR 90% CAR, 5.5m RADIUS

Cuttriss Consultants Limited
Hutt Valley, Wellington, Kapiti Coast

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CLIENT
LASER ELECTRICAL

JOB
**PARKING LAYOUT PLAN
FLAT 1
Pt LOT 1 DP 22341
56A KAPITI ROAD, PARAPARAUMU**

SCALE			SIZE		
1:200			A3		
	NAME	DATE	DRAWING NUMBER		
FIELDWORK			20787 LUC		
DESIGNED	DR	04/12			
DRAWN	JAO	04/12			
CHECKED	DR	04/12			
			SHEET	1 OF 1	SHEETS
			REVISION	B	

RM 120940
FNL APPROVED PLANS
31/05/2012