



Council Property File

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BOROUGH OF KAPITI

APPLICATION FOR ORDINARY SEWER CONNECTION

The Borough Engineer
Kapiti Borough Council
Private Bag
PARAPARAUMU

I, PAEKAKARIKI ENTERPRISES LTD (full name)

28 ORIWA ST WAIKANAE (postal address)

hereby apply for an Ordinary connection to the Kapiti Borough Sewer from premises owned by me at:-

56 KAPITI RD. PARAPARAUMU
(address in full)

Lot Pt 1 DP 22341 Valuation No. 15260 402 04

I enclose herewith the sum of \$ 180 being \$120 connection fee and/or \$30 permit fee.

PAEKAKARIKI ENTERPRISES LTD

[Signature]
(owner's signature)

10-11-80
(date)

THIS PART TO BE COMPLETED BY DRAINLAYER

I, B C M'GRATH (full name)

44 GAVIN RD RAUMATI BCN (address)

being a Registered Drainlayer apply for permission to connect the premises mentioned above to the Kapiti Borough Sewer.

[Signature]
(signature)

10/11/80
(date)

OFFICE USE ONLY

Instructions to drainlayer: _____

Appl. Recd	12 NOV. 1980	Receipt No.	6563	Drain tested	13-11-80
Fees Pd	180	Date Paid		Con. Recorded	13-11-80
Inv. No.	2122	Permit	10	Bld. Regist	183/6
Rates advised					

HUTT COUNTY COUNCIL

Valuation No. 1526/402/4

Date Received: 12-2-71

Application for Building Permit

To: The Building Inspector,
P.O. Box 8012,
WELLINGTON.

I (the undersigned), Gollop & Kemp Ltd (Full Name)
of 67 Tilly Rd Paekakariki (Address)

ERECT
ADD
ALTER
REINSTATE

hereby make application for permission to 2 Flats
with a floor area of sq. ft. as prescribed herein and set out in the plans and specifications attached hereto, in premises at:

No. 56 Rapiti Rd Street or Road Paekakariki Township
Lot No. 1 D.P. 22341 (lot 4 DP 16456) Pt lot 1 DP 22341 Riding

The owner of the premises is Paekakariki Enterprises Ltd (Name)
67 Tilly Rd Paekakariki (Address)

Previous owner { If Section has been recently transferred }

Estimated value of: Building only \$ 12000 : 00
Plumbing and Drainage \$ 1600 : 00
Total \$ 13600 : 00

Signature of Applicant [Signature] (As Builder or Owner) 11-2-71 (Date)

Builder's Name and Address: { If not the applicant } 364 [Signature] 716 BRK Ke

FOR OFFICE USE ONLY

Receipt No. 363 Road Deposit No. A/c. No. 2267

Fees:

Building Permit \$ 40 :
Kerb Crossing \$ 32 : 00 deposit.
Road Deposit \$
\$ 72 : 00

Date 12-3-71
Permit No. 59701
Date Issued 29-3-71

TOWN PLANNING DISTRICT
Conforms/Non-Conforming.

Checked by District Engineer. 11-3-71 (Date) [Signature] (Initials)

Remarks: Waiting agreement

HUTT COUNTY COUNCIL

Valuation No.

Date Received

Application for Plumbing and Drainage Permit

To: The County Health Inspector,
P.O. Box 8012,
WELLINGTON.

I, the undersigned Gollop & Kemp Ltd (full name)

of 67 Tilly Rd Paekakariki (address)

hereby make application for permission to have the work prescribed herein set out in the plans attached hereto carried out in the premises situated at

No. Kapiti Rd Street Paraparaumu Township

Lot 1 D.P. 22341 Riding

The owner of the premises is Paekakariki Enterprises Ltd (Name)

of 67 Tilly Rd Paekakariki (Address)

I hereby nominate these Registered Tradesmen to carry out the said work:

B. C. Mc Gath (Registered Plumber)

of Gavin Rd Paumotu (Address)

B. C. Mc Gath (Registered Drainlayer)

of Gavin Rd Paumotu (Address)

Type of water supply Capacity of storage tanks 3000 gals.

Description of Work: Cross out any of the following which do not apply:
Install bath, basin, sink, tubs, shower, W.C., hot/cold water supply.
Drainage to grease trap/septic tank/sewer/field drain/soak pit.
Stormwater drainage to street/channel/soak pit.

Other Work

Value of Proposed Work (including Materials):

Estimated cost of:	(a) Plumbing	\$ <u>1200</u>
	(b) Drainage	\$ <u>400</u>
	TOTAL	\$ <u>1600</u>

Signature of Applicant G. H. Gollop Date 11-2-71

For Office Use Only

Fees:

Plumbing		\$	<u>16</u>	:	<u>00</u>
Drainage		\$	<u>8</u>	:	
Sewer connection		\$		:	
Total		\$	<u>24</u>	:	<u>00</u>

Acct. No.

Date 21923

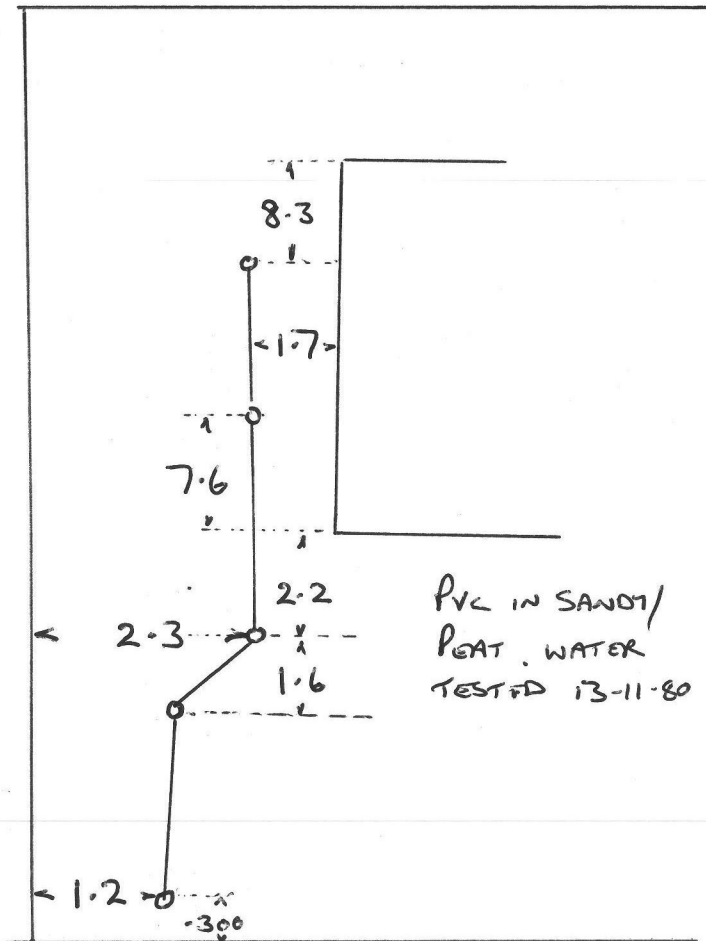
Permit No. 29371

Date Issued 29-3-71

Receipt No.

Remarks:

56 A+B KAPITI RD



Owner/Agent : J.M. Gallep
Address : 67 Tilly Rd
Levittown

I/We, being the owner(s) authorised agent for owner(s) hereby agree to comply with the conditions listed below in respect of my/our application to

Build. two flats

on Lot A D.P. 16546 Block _____ Survey District,
at No. Kapiti Rd Street/Road Levittown Township.

- 1) Compliance with Council's Building and Drainage By-laws and Code of Ordinances.
- 2) The appearance and siting of the building to meet with the approval of the County Engineer and Town Planner.
- 3) Provision and construction of two parking spaces or garages and accessways thereto, to the satisfaction of the County Engineer.
- 4) A satisfactory agreement is entered into with the Council regarding payment of extra charges for water supply, sewerage disposal and rubbish collection.
- 5) One kerb crossing(s) to be installed at developer's expense to the satisfaction of the County Engineer.
- 6) Screening of the _____ boundary(boundaries) by means of a 6' high wall or close boarded fence.
- 7) The proposed septic tank to be sited to the satisfaction of the County Health Inspector.
- 8) The proposed building(s) to be sited at least 33' feet from front boundary, 32 feet from rear boundary and 12' 7" feet from side boundaries, in accordance with plan submitted.
- 9) No advertising material to be displayed without the consent of the Council.
- 10) The written consent of the adjoining owner(s) to the reduction of yard(s) provided.
- 11) The consent will lapse if the building is not commenced within One months of the date of consent and if construction is not carried out with reasonable dispatch.

Signature : J.M. Gallep
Date : 3-3-71

Building Inspector: Mr. _____

File 16/1/

Agreement to conditions received _____
(Town Planning Officer) (Date)

Work completed, building ready for occupation. _____
(Date)

Town Planning Officer notified _____
(Date)

(Inspector)

Gollop v. Rengh. Jts
Rapiti Ed
Saraparamu
-1-

Lot DP 22341

1. GENERAL

All work performed and all materials used in the erection of the house shall comply with the relevant clauses of these specifications as set out below.

2. BY-LAWS AND LOAN INSTITUTION REQUIREMENTS

Requirements embodied in Local Body By-Laws or stipulated by the Lending Institution financing the house shall take preference over these specifications. Such requirements, or stipulations, if made after the signing of the contract shall constitute an extra, or credit as the case may be.

3. PERMITS AND NOTICES

The Builder shall give all usual notices to the Local Authority, arrange for the inspection and testing of all work, apply for and pay for building and related permits. This clause shall not apply for the arrangements and payment for the inspection and valuation by the Lending Institution in respect of progress payments.

4. INSURANCE

The Builder shall insure his employees against accident under Employers' Liability Insurance Policy to the full value of the building for the period of construction and up to the date on which the house is handed over to the owner. The Builder's liability shall cease from the above date.

5. SUBSTITUTION OF MATERIALS

In the event of any of the materials or articles mentioned in the plans and specifications being unavailable when they may from time to time be required by the Builder, the Builder shall with the approval of the owner in writing be entitled to supply an equivalent substitute material or article and the owner shall not unreasonably or arbitrarily withhold his approval so as to cause unnecessary or unreasonable delay in the completion of the house, and any variation in price caused by the use of such substitute materials or articles shall be credited by the Builder or paid for as an extra by the owner as the case may be.

6. EXTRAS AND VARIATIONS

All extras and variations from the plans and specifications shall be agreed upon between the builder and the owner in writing and shall be incorporated in an addendum which shall form part of the agreement. Requests for extras or variations required by the owner after signing of the agreement shall be made in writing authorising the builder to arrange for the work required and the owner shall agree in writing to pay for such extras or variations on completion of such work. Provided however extras originating as per Clause 2 shall not require written consent of owner.

7. SITE PREPARATION

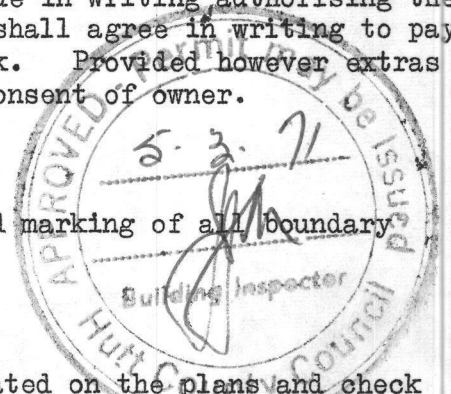
The owner shall also be responsible for the location and marking of all boundary pegs.

8. SETTING OUT

The Builder is to set out the work on the site as indicated on the plans and check all levels. The Owner shall check the siting of the house in accordance with the plans submitted to the local authority and indemnify the Builder for any cost arising from the house being sited in an incorrect position.

9. FLOOR LEVELS

The levels to the top of concrete foundations or piles to be not less than 12" to the underside of sleepers at the highest point of ground.



10. REINFORCEMENT

Reinforcement shall consist of round mild steel rods complying with N.Z.S.S. 197, accurately fabricated and fixed in positions. All rods shall be lapped at least 40 diameters, all laps and intersections being bound together with No. 18 gauge black iron wire. Bend all horizontal rods not less than 2'0" around corners.

11. CONCRETE MIX

All foundation walls, piles, chimney slab, porch floor slabs and steps shall be in ordinary grade mix 1.2.4.

12. FORMWORK

All formwork shall be fixed level and in alignment and shall be securely braced and supported to prevent any sagging or bulging. All joints shall be close enough to prevent leakage of liquid. Formwork shall be designed and constructed that it can be removed without damage to the concrete. When constructing the formwork, form all openings and chases necessary to accommodate air ventilators, flashings, conduits, waste and vent pipes.

13. PLACING

All concrete is to be placed immediately after mixing. Concrete shall be conveyed and placed so that no separation of the ingredients takes place and shall be immediately tampered or rammed into position. Generally the concrete foundations and the concrete porch floor and entrance steps and hearths are to be formed at the same time to provide a complete monolithic structure.

14. FOUNDATIONS

Foundations shall conform to the plans in all respects and the distance to the top of the concrete foundations, corner blocks and piles shall not be less than 12" from the existing ground level when finished. All poured piles shall be 8" x 8" concrete, and shall have two strands of No. 8 gauge galvanised wire cast six inches into and nine inches out of the piles. Piles exceeding three feet above ground shall have $\frac{3}{8}$ diameter mild steel rods running throughout their length. Internal concrete piles shall extend to the underside of the sleeper with a maximum height of 4'6" above ground level. External piles shall have heart Totara fillets. Precast concrete piles shall be 8" x 6" set on a concrete pad 12" x 12" x 6" while the concrete pad is still green. Piles to exterior walls and bearing walls shall be set to a depth of not less than 18" and piles other than the above to a depth of not less than 12" below ground level.

15. CONTINUOUS FOUNDATIONS

Footings for continuous foundations shall be 12" x 6" at not less than 12" below ground level and shall be reinforced with two $\frac{1}{2}$ " mild steel rods placed $1\frac{1}{2}$ " from the bottom of the trench and one $\frac{1}{2}$ " mild steel rod placed 1" from the top of the foundation. Base walls shall be not less than 5" thick with ventilator outlets placed 2 feet from each end of such walls and spaced at intermediate points at not less than 6 feet centres. Foundation walls extending more than 3 feet above ground level shall be reinforced with $\frac{3}{8}$ mild steel rods meshed at 15" centres. Ventilators shall be precast 12" x 6".

16. PORCH FLOORS AND ENTRANCE STEPS

Porch floors and entrance steps shall conform to the plans in all respects, and slabs shall be not less than 4" thick and shall be laid with an even and constant fall to drain stormwater. Porch floors shall be supported on two base walls not less than 4" thick and shall be so arranged that the reinforcing shall span the shortest distance. Reinforcement in base walls shall be as specified for continuous foundation walls. Reinforcement to porch floors and entrance steps shall be of $\frac{3}{8}$ " diameter mild steel rod spaced at not less than 12" centres both ways and shall be turned not less than 9" into bearing walls. All porches shall have 4" upstands for positioning of the frame. The foundations for the steps shall be taken into the ground floor for not less than 12".

17. EXTRA DEPTH IN FOUNDATIONS

The Owner acknowledges that the contract price is based on foundations being as specified above. If during the course of erection it is found necessary to take the foundations to a greater depth in order to reach solid bearing any cost so incurred will be at the expense of the owner.

18. SOLID PLASTERER

The exterior face of basewalls, steps, porch slab, upstands and the chimney to be plastered not less than $\frac{1}{2}$ " thick and floated smooth splash coat to be applied.
Compo to consist of 3 parts clean sand and 1 part Portland Cement.

19. CHIMNEY

All chimneys shall be constructed and reinforced in accordance with the manufacturer's instructions. Foundation footings for chimneys shall be not less than 6" thick, projecting not less than 9" all round and shall be reinforced with $\frac{3}{8}$ " mild steel rod at 6" mesh.

20. BASEMENT DOOR

The basement door shall be T & G treated or Heart Native timber and shall be hung on two 6" galvanised TEE hinges and fastened with a 6" galvanised pad bolt.

21. TIMBER AND TIMBER SCHEDULE

All timber used shall be of its respective grade and shall be in accordance with New Zealand Standard Grading Rules. When used herein the word 'treated' shall mean treated by a process by the Timber Preservation Authority.

SCHEDULE OF FRAMING TIMBERS

Sleepers	4" x 3"	Treated Pine HR. or Native Treated
Wallplates	4" x 2"	"
Floor Joists	Sizes as shown on drawing	"
Plates (Top & Bottom)	4" x 2"	Native O.B.A. or Treated Pine
Dwangs	4" x 2"	" " "
Bracing External Walls	6" x 1"	" " "
Internal Walls	4" x 1"	" " "
Lintels	4" x 3" up to 4'6" openings	" " "
	5" x 4" " " 6'8"	" " "
	6" x 4" " " 8'10"	" " "
	8" x 2" " " 11'0"	" " "
Ceiling Runners	4" x 2"	" " "
Studs	4" x 2" and 3" x 2"	" " "
Rafters	4" x 2" as shown on drawing	" " "
Ceiling Joists	4" x 2"	" " "
Ridge	1" thick, 2" deeper than rafter	" " "
Collar Tie	4" x 2" or 6" x 1"	" " "
Struts	4" x 2"	" " "
Under Purlins	4" x 3" Tile Roof	" " "
"	4" x 2" Iron Roof	" " "
Purlins	3" x 2"	" " "
Weatherboards	8" x 1" or 6" x 1" bevelled back	HR or Treated Native
Flooring	4" x 1" or 3" x 1"	" " "

23. SLEEPER PLATES

Framing sleeper plates shall be 4" x 2" H.B.A. laid flat on concrete base walls secured with $\frac{1}{2}$ " diameter bolts or $\frac{3}{8}$ " dowel rods at 4' - 6" centres. Sleepers shall be 4" x 3" on edge over pile and spaced as shown and secured with No. 8 double wire ties to piles.

24. FLOOR JOISTS

Floor joists shall be 5" x 2" H.B.A. spaced at 18" centres and be double skew nailed to sleepers and plates.

25. FLOORING

Lay the floors to all rooms with 4" x 1" T. & G. flooring well cramped up and double nailed to each joist intersected. All nails shall be punched home.

26. WALLS AND PARTITIONS

All external and partition walls shall be framed up with 4" x 2" at 18" centres with top and bottom plates 4" x 2" in long lengths halved at angles and meetings.

All walls shall be dwanged three times in height. Fully brace all external walls with 6" x 1" braces checked into studs running diagonally from top to bottom plates. Check ends of lintels 1" into trimming studs. 4" x 1" braces internal walls.

27. EXTERNAL WEATHERBOARDS

Cover the whole of the external walls also the inside of entrance porches with 6" x 1" or 8" x 1" bevelled back, dressed weatherboards laid to gauge with laps primed in red lead and oiled before fixing. Corners to be mitred.

28. ROOF IRON

Frame work with 4" x 2" rafters at not more than 3' centres. Fix 3" x 2" purlins at not more than 2' 6" centres and fix wire netting, tightly stretched.

29. ROOF TILES

~~Frame work with 4" x 2" rafters at not more than 18" centres.~~

30. CEILING JOISTS

Ceiling joists shall be 4" x 2" at 18" centres well secured to runners and plates. Those exceeding 8' clear span shall be secured to 4" x 2" counter runners in centre of span nailed to each crossing. Fix all dwangs for linings as necessary. Trim this for manhole and chimney as necessary.

31. ARCHITRAVES

Finish all door and window openings with 3" x 1" stock pattern architraves.

32. SKIRTINGS

Finish around all rooms with 3" x 1" plain bevelled skirtings in long lengths securely fixed, mitred at external angles and scribed at internal angles.

33. EXTERIOR JOINERY

Sills to be out of 6" x 2 $\frac{1}{2}$ " Ht. Matai or Ht. Totara. Jambs and heads out of 6" x 2" Ht. Matai, Totara or Rimu. Sashes out of Ht. Totara or Redwood.

34. DOORS

Internal doors shall be 6' - 6" x 2' - 6" except wardrobe doors which shall be 6' - 6" x 2' - 2".

FRONT DOOR

6' - 6" x 2' - 10".

BACK DOOR

6' - 6" x 2' - 6".

MANHOLE

Provide where shown a 24" x 16" manhole in ceiling with cover to rest on $\frac{1}{2}$ " planted stop.

EXTERNAL DOOR FRAMES

External to match casement frames with 2" pitched Matai sill internal 1 $\frac{1}{2}$ " solid rebated.

35. INTERIOR FITTINGS

Interior fittings where possible will be of a standard type brought to the job ready to instal. These will include bathroom cabinet, cupboards, sink bench, dresser and safe. Sink bench top shall be Laminex or other approved material with stainless steel sink.

36. WARDROBES AND CUPBOARDS

Construct wardrobes where shown and shall be provided with shelf and hanging rail. Linen cupboards shall have 4" x 1" slat shelving.

37. BUILT IN BATH

Box in porcelain bath in approved manner with 3" x 2" framing with 3" x 2" toe space along front.

38. CORNICES

Standard scotia or quadrant moulding.

39. TOWEL RAILS

Provide and fix 3' towel rails in bathroom where directed.

40. TOILET HOLDER

Provide toilet holder in W.C. where directed.

41. PRIME COST ITEMS

Individual items set out hereunder, although set out in their respective headings in other sections of this specification, shall be covered by prime costs as under:-

Tile Surround	PC	£25 0 0 including installation
Wallpaper	PC	10/- per roll <i>61-30</i>
Sinktop	PC	£17 0 0 <i>£48-00</i>
Range	PC	£50 0 0 <i>£160-00</i>
Hardware (furniture)	PC	£25 0 0 <i>£60-00</i>
<i>Highstore Metals</i>	<i>1 lb.</i>	<i>£120-00</i>

42. WALL AND CEILING LININGS

Walls: Cover the whole of the walls with Gibraltar board neatly stopped and prepared for papering.

Ceilings: *panels*
Pinex throughout.

P L U M B E R

43. GENERAL

All work carried out in a tradesmanlike manner and shall conform to the Health Regulations and Local Authority By-Laws. If any parts of the specification are at variance with the By-Laws, the specification shall be varied accordingly.

44. SPOUTING

Spouting shall be 24 gauge galvanised iron soldered complete with all necessary stopped ends, outlets, etc., and supported on brackets at 3' centres and coated with Bitumastic paint on back only.

45. DOWNPIPES

Provide and fix 3" diameter G.I. downpipes clipped to walls complete with swan necks and shoes at bottom to deliver to stormwater drains or soakpits as required by Local Authorities or to water supply.

46. WATER PIPING

Water piping shall be drawn copper throughout. Main pipes and pipes to bath $\frac{3}{4}$ " diameter, other branches $\frac{1}{2}$ " diameter. All hot water piping to be lagged. Connect cold water supply from tanks to high pressure main. All interior visible water pipe to be chrome plated including flush pipe for cistern and waste.

47. HOT WATER CYLINDER

Fix and provide a 30 gallon copper cylinder, lagged and jacketed with $\frac{3}{4}$ " expansion pipe, $\frac{1}{2}$ " sludge pipe and cock to outside and stop cock on hot supply from cylinder after leaving the expansion pipe.

48. SUPPLY TANK

24 gauge copper 22 gallon supply tank.

49. TAPS AND COCKS

Provide and fit stopcock on main supply line and before any other take off points.

All taps inside the house shall be C.P. Streamline type marked 'Hot' or 'Cold' as required, and shall be stamped by the Local Authority if so required.

Taps over bath shall be 3" x $\frac{3}{4}$ " extension.

Hot and cold taps over tub, basin, and sinkbowl shall be $\frac{1}{2}$ ".

Provide and fit C.P. stopcock on supply to W.C. cistern and fit 2 only outside taps, one at rear of house and one in front.

50. TANKS

~~Supply and fix three 600-gallon tanks and tankstand in areas not on high pressure supply.~~

51. WATER CONNECTIONS

Connect to main or to alternative supply with $\frac{3}{4}$ " drawn copper pipe.

52. SANITARY FITTINGS

Provide to by of house foundation H.C.C.

Bath: Provide and install white porcelain enamelled standard type 5'6" bath set in timber framework. See 'Carpenter'.

W.C.: Provide and install white porcelain pan with single flap wooden seat complete with hinges and rubber buffers. Pan to be set in flexible compound.

Basin: Provide and install 22" x 16" white porcelain basin fitted to two cantilever cast iron brackets with $\frac{3}{4}$ " galvanised bolts. Front edge of basin shall be 30" above floor level.

Tub: Provide and install ~~on concrete framework a single concrete tub~~ *single stainless steel tub* complete with waste, plug and other usual fittings.

Cistern: Provide and install a low flush cistern of a type approved by the Local Authorities.

Shower: Shower rose to be installed 5' 2" from the floor of tray. Taps and rose to be chrome plated. Tray to be of stainless steel with centre outlet.

53. WASTE AND TRAPS

Traps and waste shall be C.P. made of copper and finishing at floor with flange. Support copper wastes from floor level to drains on treated pine battens.

54. FLASHINGS:

Provide and fix 24 gauge galvanised iron flashings over all window and door frames, over meter box and to chimney.

Provide and fix sill flashings turned down over weatherboards and flashings.

Provide and fix roof flashings to chimney and vents to 4lb. lead.

55. DRAINAGE

Drains shall be 4" glazed earthenware pipes jointed with rubber rings and layed to even falls of not less than one inch to 60 feet. All bends and junctions shall be inspection fittings and inspection pipes shall be layed at not less than every 40 feet along the run of drains. Gully traps shall be set in concrete. Septic tanks if used shall conform to Local Authority By-Laws. Terminal vents shall be installed adjacent to W.C. and shall be of 4" cast iron pipe for the first 6' and of 4" copper pipe above that height. Connect waste from floor level to discharge in gully traps, with closed top.

E L E C T R I C I A N

56. GENERAL

Electrical work shall be in accordance with Local Authority By-Laws and electrical regulations.

Provide and fit switchboard, run all wiring in P.V.C. or T.R.S. cable and conceal in walls and ceilings.

57. INSTALLATION

The installation shall be as follows:-

- | | | | |
|----|---|---------------------------|--------------------------|
| a. | One light point in dining area | 100 watt lamp | 100 watt lamp |
| b. | One light point in living room | 100 watt lamp | 100 watt lamp |
| c. | One light point in kitchen | 75 watt lamp | 75 watt lamp |
| d. | One light point in hall | 75 watt lamp | 75 watt lamp |
| e. | One light point in each bedroom | 75 watt lamp | |
| f. | One light point in bathroom and W.C. | 75 watt lamp | |
| g. | One light point in front porch | 75 watt lamp | |
| | One light point in back porch | with watertight fittings. | |
| h. | One power point in living room | | |
| i. | One power point in dinette | | |
| j. | One power point in kitchen | | |
| k. | One power point in bedrooms 1 & 2 | | |
| l. | One power point in laundry (heavy duty switch) | | |
| m. | One full sized Electric Range (see PC items) | | |
| n. | Element and thermostat in hot water cylinder | | |
| o. | All necessary switches, plugs etc. for the above. | | |

~~P. provide & install~~
58. SWITCHES AND POINTS

All switches and power points shall be flush type with PDL white plastic covers. All lighting points shall be fitted with white conical plastic shades.

59. CONNECTIONS

Mains shall be run to the point of entry and connected to supply from point of nearest main.

60 Provide & install two 1/2 hp. E. C. Nightstore heaters

P A I N T E R

All painting shall be in accordance with good trade practice, and shall be done during suitable weather only. Good quality ready mixed paints only shall be used and such paints shall be applied in accordance with the manufacturer's instructions.

60. EXTERIOR PAINTING

Prime, stop and paint two coats on all exterior woodwork, spouting, and downpipes. All exterior painting shall be done by brush only. The roof will not be painted.

61. INTERIOR PAINTING AND PAPERING

For finishes to rooms see Clause 68, Schedule of Finishes.

Painting and papering shall be done as set out below.

Flat Enamel: Seal all surfaces with 'Petriseal' pigment sealer. Stop all holes and cracks and apply two coats of flat enamel plastic based, paint.

Gloss Enamel: Prime with white lead primer or 'Petriseal' pigment sealer. Stop all holes and cracks and apply one coat of undercoat and one coat of gloss enamel. Use Totara Primer on Totara timber.

Varnish Finish: Apply one coat of white polish followed by two coats of eggshell flat varnish. Rub down lightly between coats.

Papering: Size all walls and hang selected papers (see PC). Match all patterns and butt all joints. Add an approved fungicide to all pastes used in papering.

62. COLOUR RANGE

The maximum colour range to be used in any one room shall be four colours. Colours in excess of that number shall be paid for as an extra.

63. GLAZING

Glazing shall be as follows:

All obscure glazing	3/16"
All clear glass Louvres	1/4" clear drawn rolled plate
Clear glass up to 10 sq. ft.	24 ounces.
Clear glass 10/16 sq. ft.	32 ounces
Clear glass 16 sq.ft. and over	1/4" clear drawn rolled plate
Back putty, sprig and putty glass into sashes	Front and back putty head in fixing glass.

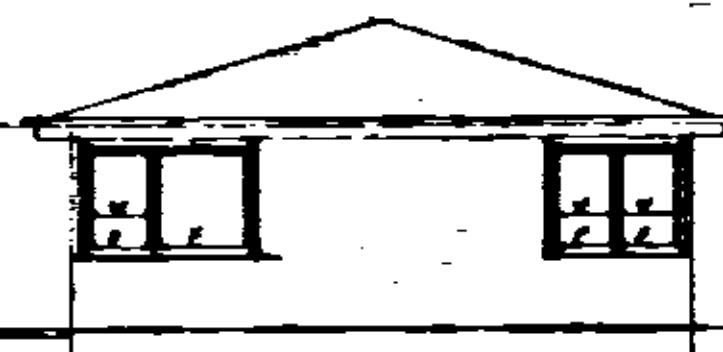
64. FLOOR SANDING

After completion of all sub-trade work all floors shall be sanded smooth and floors shall be swept clean after sanding.

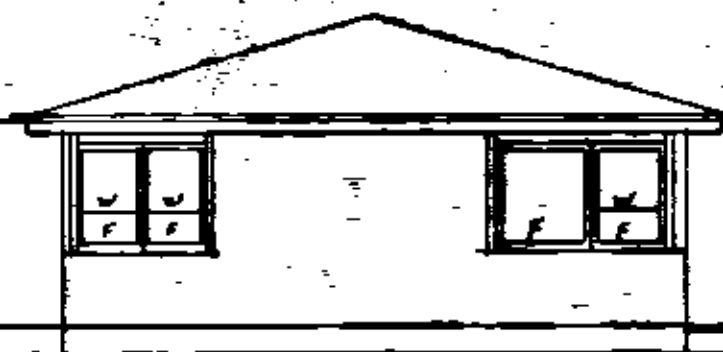
65. AT COMPLETION

At the completion of the contract remove all builder's rubbish and leave the building site clean and tidy. All floors shall be left broom clean; and all paint and putty marks removed from windows and adjoining paintwork.

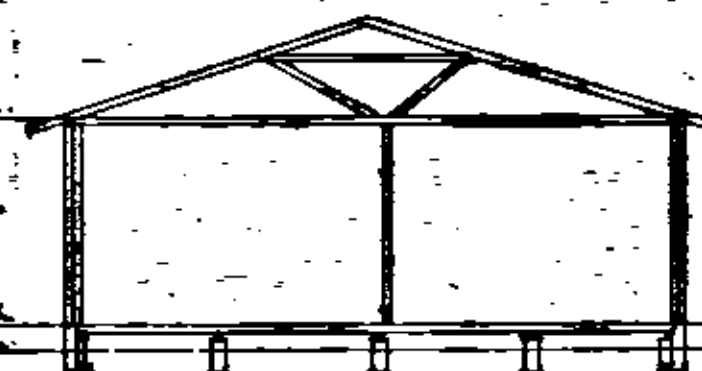




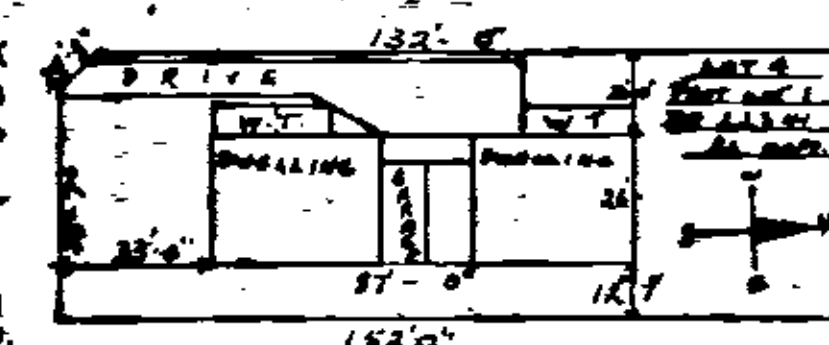
SOUTH ELEVATION



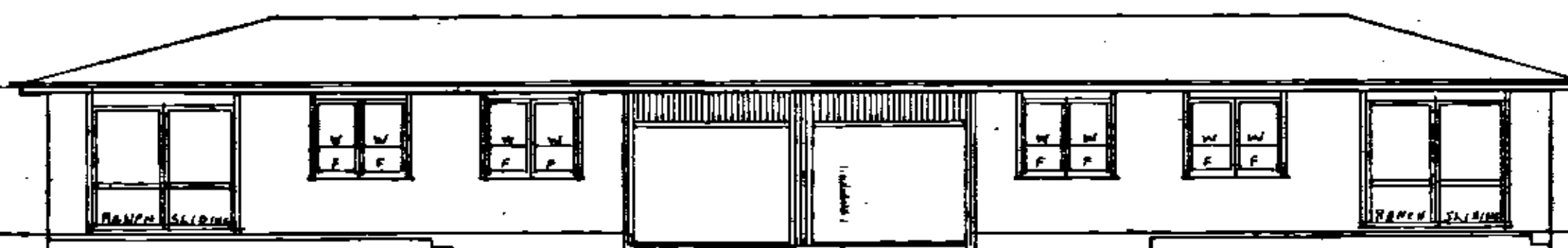
NORTH ELEVATION



SECTION A B



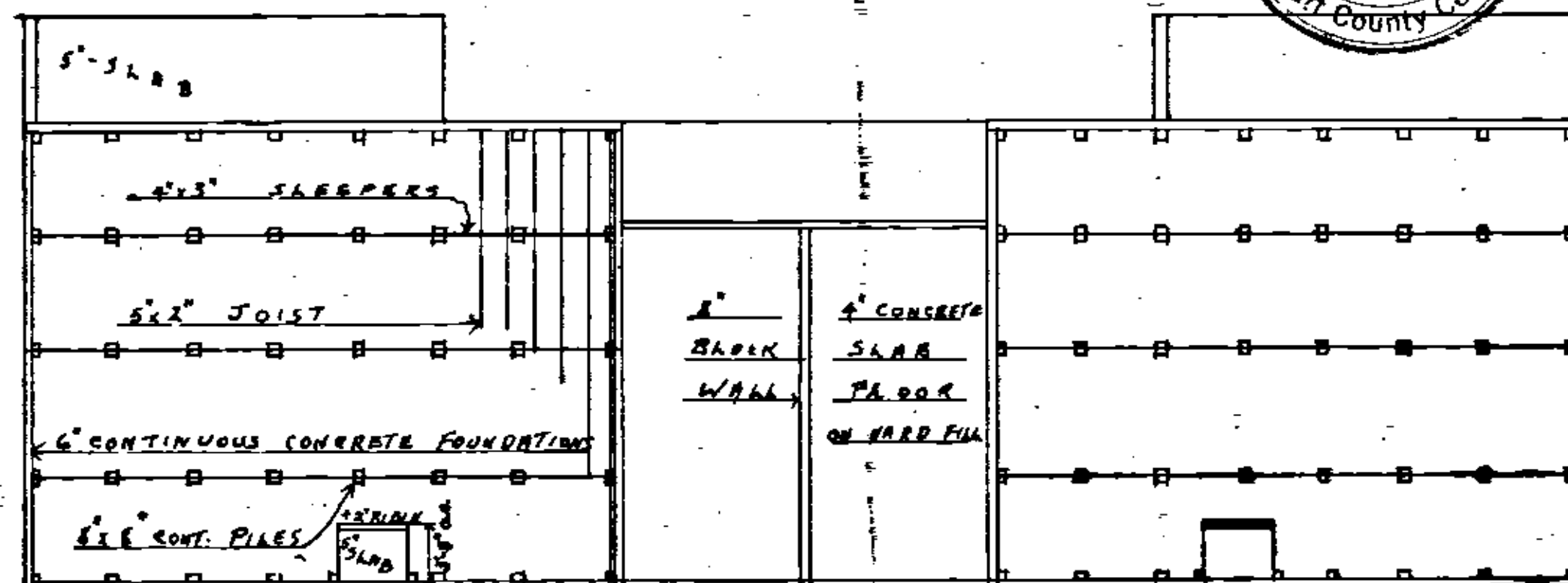
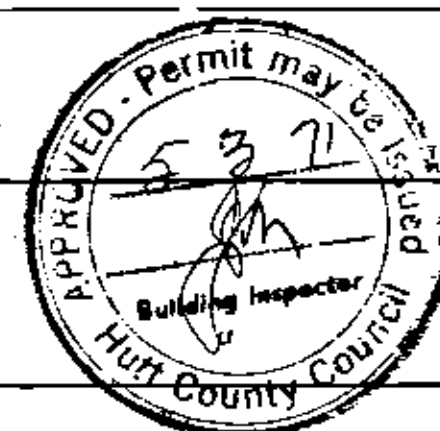
SITE PLAN 1" = 40'-0"



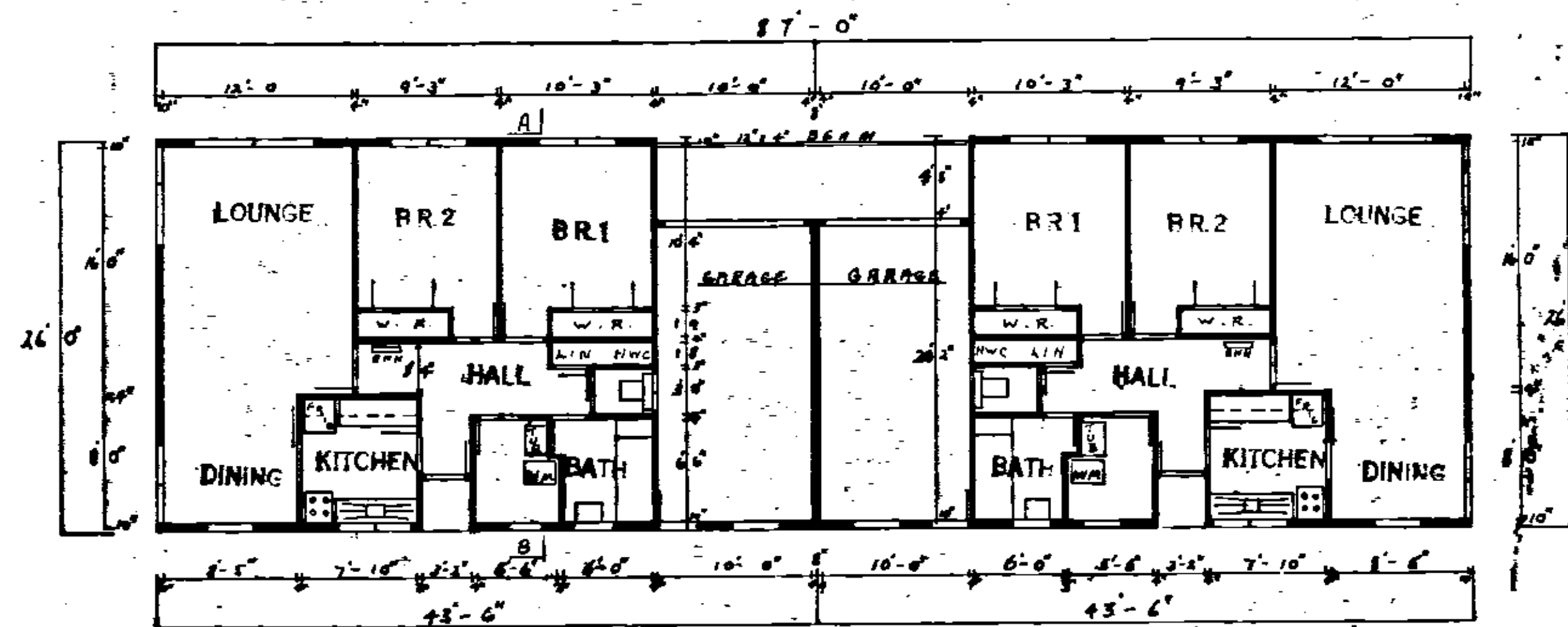
WEST ELEVATION



EAST ELEVATION



FOUNDATION PLAN



FLOOR PLAN

AREA SQ. FT.

PROPOSED HOUSE AT

PARAPARAUMU

BY GOLLOP & KEMP LTD

SCALE 1/4" = 1'

GOLLOP & KEMP LTD.

67 TILLEY RD. PAKAKARIKI
PHONE 8308 & 8194