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We cannot guarantee its accuracy and reliability as we have not checked, audited, or reviewed the information and all the intending purchasers are advised to conduct their own due diligence investigation into the same.

To the maximum extent permitted by law Ownly (REAA 2008) and Sold On Kapiti Limited does not accept any responsibility to any person for the accuracy of the information herein.



14 September 2026

Claire Saunders

LAND INFORMATION MEMORANDUM (LIM)

The attached LIM provides you with information about 9 Groves Road Raumati Beach.

The information provided in this LIM has been gathered from all the information the Council holds on this property, as at the date of your application.

It is important to note that the Council has not undertaken an on-site inspection of the property and there may be information which is not known to Council - for example, illegal or unauthorised building or works on the property.

If you have any future plans to develop this property please contact us for advice about how to proceed and the process for obtaining the necessary approvals.

In addition to the information in this LIM you may be interested to find out more about the Kapiti Coast District. Information and advice on council services and our District Plan are available on our website: www.kapiticoast.govt.nz

Finally, if you have any questions about your LIM, please don't hesitate to contact us at kapiti.council@kapiticoast.govt.nz or 0800 486 486.



Jackie Adams
Manager Consenting

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Land Information Memorandum (LIM)

Prepared by Kāpiti Coast District Council for the property located at:

9 Groves Road Raumati Beach

Application Details

Applicant	Claire Saunders
LIM number	L260849
Application date	04/09/2026
Issue Date	14/09/2026

Property Details

Property address	9 Groves Road Raumati Beach
Legal description	LOT 1 DP 13513 CT 530/96
Area (hectares)	0.0823

Valuation Information

Valuation number	1528119600
Capital value	\$1,550,000
Land Value	\$970,000
Improvements Value	\$580,000

Please note that these values are intended for ratings purposes only.

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Document information

This document has been prepared in accordance with legislation

This Land Information Memorandum (LIM) has been prepared for the purpose of section 44A of the Local Government Official Information and Meetings Act 1987 (LGOIMA) – to provide information relating to matters which may affect the identified property.

This Land Information Memorandum (LIM) has also been prepared for the purpose of section 44B of the Local Government Official Information and Meetings Act 1987 (LGOIMA), which requires Council to identify natural hazards and potential natural hazards, the impact of climate change that exacerbate hazards and potential hazards on the identified property.

As such, each heading or 'clause' in this LIM corresponds to a part of section 44A and 44B of LGOIMA, and the supporting Local Government (Natural Hazard Information in Land Information Memoranda) Regulations 2025.

This LIM contains information held by Council

This LIM is a summary of information Council holds on the identified property, based on a search of Council database records as at the date of your application. Some of this information may have come from third parties, may be in draft form, or may be historical in nature. A LIM is not an inspection of the property, and Council has made no risk assessment or review of the information for the purposes of this document.

There may be other information relating to the property, which is unknown to Council and therefore not contained within this document. For example, information regarding illegal or unauthorised building or works on the property, or information held by other regional and central government agencies.

Due diligence is recommended

Any person obtaining a LIM is solely responsible for undertaking appropriate due diligence and ensuring that the property is suitable for its intended purpose.

Attachments

- Aerial Photograph
- Deposited Plan/Record of Title
- District Plan Zones
- District Plan Precincts and other overlays
- District Plan Features
- District Plan Natural Hazards – Active Faults
- District Plan Natural Hazards – Flooding
- Latest Flood Hazards
- Resource Consents - Maps and Summary Detail (if applicable)
- Health and Alcohol Licenses
- Services Network
- As Built Drainage Plan (if applicable)
- Building Consent geotechnical report (if applicable)
- Resource Consent documents (if applicable)
- Resource Consents geotechnical report (if applicable)
- Earthquake-Prone Building documents (if applicable)

1. Rates

In this section: information relating to any rates owing in relation to the property.

Rates are charged in four instalments for the period commencing 1 July and ending 30 June each year. Amounts stated are inclusive of GST.

Current rates year	2026/2027
Annual Rates 1 July to 30 June	\$9,802.36 These Rates include: - Greater Wellington Regional Council rates.
Next instalment date	09/09/2026
Rates arrears	\$0.00
Water Rates	\$168.36 For the 2026/2027 rating year, all water used is charged at a volumetric rate of \$1.72 per cubic metre (1000 litres) on the water rates invoice, and a fixed annual charge of \$318.60 per separately used or inhabited part of a rating unit, is charged on the property rates invoice.
Water Rates balance due	\$0.00

For further information on this section, contact the **Rates Team** on 0800 486 486.

2. Consents, Certificates, Notices, Orders or Requisitions affecting the land and buildings

In this section: information concerning any consent, certificate, notice, order, or requisition affecting the land or any building on the land previously issued by Council; information required to be provided to a territorial authority under section 362T(2) of the Building Act 2004; and information concerning any certificate issued by a building certifier pursuant to the Building Act 1991 or the Building Act 2004.

Building Consents

25/10/2023	BUILDING CONSENT 230705: New toilet to existing bathroom. Remove walls new bracing to internal wall. Remove ceilings new ceilings and : Code Compliance Certificate issued 22/07/24
29/11/2013	BUILDING CONSENT 130685 Extensions to garage, entry & pool house. New deck. Reclad house & pool house in plywood & batten. : Code Compliance Certificate issued 7/11/14
15/04/1999	BUILDING CONSENT 990116: ADDITION TO DWELLING : No Code Compliance Certificate has yet been issued.
17/10/1997	BUILDING CONSENT 971236: INSTALL JAYLINE CLASSIC F/S FIRE : Code Compliance Certificate issued 20/10/97
10/03/1983	Building Permit 66684 F/S FIRE
08/02/1982	Building Permit 88432 SAUNA & CHANGING ROOM 19 SQ M
14/01/1981	Building Permit 021442 DWELLING 258 SQ M
12/01/1981	Building Permit 021440 SWIMMING POOL 36 SQ M

To date Building Consent 990116 has not been issued a Code Compliance Certificate. Under the Building Act 2004 and Building Act 1991 a new owner inherits the responsibility, including any outstanding fees, for this consent and any additional work that may be required before the Code Compliance Certificate can be issued. Please contact Council for further information.

Note that building consents and code compliance certificates came into existence with the passing of the Building Act 1991. Before then, councils issued only building permits. Building work carried out earlier than July 1992 may therefore not have a code compliance certificate.

Engineer's report

Further building may require an engineer's soil report and, if necessary, a foundation design.

Wind

Indicative wind zones can be found at [BRANZ Map](#). Wind zones should be determined in accordance with the New Zealand Building Code.

For further information on this section, contact the **Building Team** on 0800 486 486.

Swimming Pools: Compliance with the Building Act 2004

The last inspection, completed on 11/08/2025, revealed that the barriers restricting access to the pool complied with the Building Act 2004.

Swimming pools are inspected on a 3 yearly cycle to ensure their compliance with the Building Act 2004. This information was accurate at the time of the last inspection.

For further information on this section, contact the **Building Team** on 0800 486 486.

Registered Environmental Health Premises and Licences

No information located.

For further information on this section, contact the **Environmental Health Team** on 0800 486 486.

3. Weathertightness

In this section: information notified to the Council under section 124 of the Weathertight Homes Resolution Services Act 2006.

The Council has received no correspondence from the Ministry of Business, Innovation and Employment in relation to this property.

4. Land use and Conditions

In this section: information relating to the use to which the land may be put, and conditions attached to that use. This section may provide some information relating to the natural hazards, which may impact this property. More information relating to these and other potential natural hazards can be found in Section 6 Natural Hazards.

The District Plan maps provided with this LIM provide a useful visual overview of the planning information provided in this LIM. However, the planning information provided is not exhaustive and reference to the Operative District Plan (2021) is recommended. Full details of the relevant zone, precinct or development area requirements are contained within the [Operative District Plan 2021](#) on our website.

There may be policies or rules in the Greater Wellington Regional Council's Natural Resources Regional Plan (and/or a proposed change to that Plan) that regulate land use on this property. This Plan is available from the [Greater Wellington Regional Council](#) website. Questions about the impact of that Plan on this property should be made to the **Greater Wellington Regional Council** on 0800 496 734.

District Plan Features and Overlays

The [Operative District Plan 2021](#) records which properties in the District have these special features and overlays located on them. Each feature and overlay is given a unique reference number or title. There are specific restrictions on development within or around many of these features. The District Plan Features Map provided with this LIM displays whether any of these features are on, or adjacent to, this property.

This property is zoned General Residential in the Operative District Plan (2021).

This property is located within PRECINCT 3 - Beach Residential Precinct and PRECINCT 62 – Coastal Qualifying Matter Precinct (General Residential Zone).

There are specific provisions in the Operative District Plan (2021) for these Precincts.

This property was created via subdivision in 1947. Copies of the Deposited Plan (DP 13513) and Record of Title are provided with this LIM.

There are no known easements.

Notice imposing Building Line Restriction (K25836) is currently registered on the Record of Title.

It is recommended that the Record of Title is checked for any interests registered against the property such as easements or covenants.

There is no record of any resource consents for this property.

For information about any resource consents for surrounding properties refer to the Resource Consents map and Summary Details Report provided with this LIM.

If you are interested in reading the full resource consent files then these can be viewed at the Council administration building at 175 Rimu Road, Paraparaumu.

Note: some resource consent files may be archived offsite; however these can be retrieved for you. Please call the Resource Consents Team on 0800 486 486 to check the availability of the files.

Air Space Designation - land within the airport flight paths where height restrictions apply to buildings and trees as set out in the Operative District Plan (2021).

This property is located within the Horizontal Surface 50m AMSL, Operations Area of the Paraparaumu Airport. Refer to the Airport Plan and Surfaces maps of the Operative District Plan (2021).

There is no record of any identified cultural or archaeological sites contained on this site.

5. Special Features and Characteristics of the Land

This section identifies information held by Council about other special features or characteristics of the land concerned, including information about the likely presence of hazardous contaminants that are known to Council, but are not apparent from its District Plan under the Resource Management Act 1991.

Contaminated Sites

Greater Wellington Regional Council holds information on properties with a history of hazardous activity or industry. Refer to the Selected Land Use Register available on the Greater Wellington Regional Council website [Selected Land Use Register \(HAIL Database\)](#).

Other Information

Part of the property is shown to be subject to and adjacent to a flood hazard in the Operative District Plan (2021), and the latest Flood Hazard Maps. The flood hazard identified on the maps provided with this LIM is based on the projected future flooding risk to the property including climate change projections.

The maps show the projected flood extent arising from the 1% AEP or 1% Annual Exceedance Probability Flood Event (that is, a flood event that has a 1% probability of occurring in any one year, often referred to as a 1 in 100 year storm), incorporating the projected 2090 climate change impacts, in conjunction with a 20 year return period high tide.

The nature of the controls imposed by the District Plan depends on where individual sites are located within the 1 in 100 year flood extent; which flood hazard map (operative or latest) is referenced in legislation or the District Plan, and which flood hazard category applies.

Part of the property is shown to be subject to and adjacent to ponding on the Operative District Plan (2021) Flood Hazard Maps, and the latest Flood Hazard Maps. Ponding are areas where slower-moving flood waters could pond either during or after a flood event. A Ponding Area may be affected by a direct flood risk. Ponding can be associated with rivers and streams as well as the piped stormwater network. Ponding is a direct risk.

The adjoining road carriageway (Matatua Road) is shown to be subject to a stream corridor on the Operative District Plan (2021) Natural Hazard Maps, and the latest Flood Hazard Maps.

A stream corridor flood hazard is the minimum area able to contain a flood of up to a 1% AEP event magnitude and enable flood water to safely pass to the stream confluence or the sea. It includes flood and erosion prone land immediately adjacent to the stream.

For further information on flood hazards please contact the Stormwater and Coastal Asset Manager on 0800 486 486.

Greater Wellington Regional Council holds flood hazard information relating to the major rivers and streams in the District. For further information on these flood hazards, please contact the Greater Wellington Regional Council (Flood Control Department) on 0800 496 734.

For information on minimum floor levels for buildings and the potential implications for building consents on this property please contact the Building Team on 0800 486 486.

6. Natural Hazards

This section identifies information held by Council about natural hazards, which may present a risk to the land in question, as required section 44B of LGOIMA and the Local Government (Natural Hazard Information in Land Information Memoranda) Regulations 2025.

A natural hazard is any atmospheric or earth or water related occurrence (including earthquake, tsunami, erosion, volcanic and geothermal activity, landslip, subsidence, sedimentation, wind, drought, fire, or flooding) the action of which adversely affects or may adversely affect human life, property, or other aspects of the environment.

The impacts of some natural hazards may also be worsened by the effects of climate change. Where Council holds information relating to climate change, it will be included within the natural hazards section.

The Operative District Plan 2021 contains information relating to natural hazards, which may present a risk to property and people within the Kāpiti Coast District. These are discussed below, with further information relating to how this property could be impacted available in the Operative District Plan 2021, and on the attached maps.

Natural hazard information held by Council

Natural hazards identified in the District Plan

Earthquakes

Due to its geographical features, the Kāpiti Coast District may be at risk of earthquakes. Earthquake fault traces within the Kāpiti Coast are mapped in the [Operative District Plan 2021](#), and can help you identify whether this property may fall within a fault area.

Further mapping is also available in the information provided by the Greater Wellington Regional Council later in this section.

Liquefaction

Due to its geographic location and soil typology, the Kāpiti Coast District may be susceptible to liquefaction in the event of an earthquake.

More information on this risk can be found in the [Operative District Plan 2021](#), and is also available in the information provided by the Greater Wellington Regional Council later in this section.

If this property has been subject to a Building or Resource Consent, a geotechnical assessment may have been completed and could provide more detailed and site-specific information about this property. Hazard information regarding Building or Resource Consents for this property can be found later in this section.

Slope failure

Due to its geographic location and soil typology, the Kāpiti Coast District may be susceptible to slope failure in the event of an earthquake. Those areas in the southern or southeastern parts of the District such as Paekākāriki and Raumati, may be particularly susceptible.

More information detailing earthquake-related hazards can be found in the [Operative District Plan 2021](#), and is also available in the information provided by the Greater Wellington Regional Council later in this section.

If this property has been subject to a Building or Resource Consent, a geotechnical assessment may have been completed and could provide more detailed and site-specific information about this property. Hazard information regarding Building or Resource Consents for this property can be found later in this section.

Fire

Due to its climate and geographical features, the Kāpiti Coast District can be susceptible to risks of fire, including wildfire. More information on this risk can be found in our [Operative District Plan 2021](#).

Further information relating to fire risks, can also be found in the information provided by the Greater Wellington Regional Council later in this section.

Tsunami

Under certain circumstances, the Kāpiti Coast District may be at risk of experiencing a tsunami. To understand the potential risk to this property and the evacuation zones please see the updated tsunami evacuation maps for Kāpiti these can be viewed at the Council's website at [Tsunami Zones](#).

Flooding

Due to its physical landscape, the Kāpiti Coast District presents with a varying level of flood risk. For more information about this risk and the property can be found under "flood hazard categories" on the District Plan Maps and in the [Operative District Plan 2021](#)

Council is currently undertaking an update of its flood modelling, which will provide up-to-date information regarding flood hazards within the Kāpiti Coast District, including at a property level. This information is only in draft currently, which has been released for consultation with the community. As it is only in draft form, the information may change prior to its finalisation, which may influence how the risk of flooding could affect this property.

More information on flood hazard modelling, including currently available information can be found on the Council website

www.kapiticoast.govt.nz/environment/flood-hazard-management/flood-hazard-modelling/.

For more information, please contact the Stormwater and Coastal Assets team on 0800 486 486.

If this property has been subject to a Building or Resource Consent, a geotechnical or liquefaction assessment may have been completed and could provide more detailed and site-specific information about this property. Hazard information regarding Building or Resource Consents for this property can be found later in this section.

Coastal Erosion and Inundation Hazards

Council holds a number of reports that assess the possibility that areas of the Kāpiti Coast District shoreline may be susceptible to current and future coastal erosion and inundation. The available information on coastal hazards that are specific to the District are available on the following link: www.kapiticoast.govt.nz/coastal-science. The science of coastal erosion and inundation continues to develop as national and international best practice changes, and new information is released. The information received by Council will therefore outline different perspectives.

Currently, information specific to the Kāpiti Coast District includes:

- Council-commissioned assessments by Jacobs NZ Ltd, including coastal area-specific risk assessments, a hazard and susceptibility assessment, and the coastal hazards GIS map viewer allowing you to assess how any particular property may be affected.
- A community commissioned coastal hazard risk assessment report by Dr Willem de Lange and related predicted shoreline maps.
- Advice from the Ministry for the Environment and the Department of Conservation on coastal hazard risk identification and management of coastal risks.

Council will consider the information and its possible impact on Kāpiti properties, as part of its review of coastal provisions in the Council's Operative District Plan. On 30 January 2025 Council resolved that this work is a priority to progress.

Natural hazards identified under the Building Act 2004

Natural hazards identified under the Building Act 2004 during a consenting process may influence whether land can be built on and/or the specifications required to mitigate risk. Natural hazards under Section 71(3) of the Building Act include erosion, falling debris, subsidence, inundation, and slippage.

Consents notified relating to a natural hazard

If this property has had a Building Consent issued, which required notification for a natural hazard, it will be found in *Section 2: Consents, Certificates, Notices, Orders or Requisitions affecting the land and buildings*.

Notices issued under 133BT

Under certain conditions, for example if a building presents a risk of injury or death to people or has been evacuated during an emergency event, a notice may be issued.

A Notice under 133BT of the Building Act 2004 has not been identified for this property. For further information on this section, contact the Building Team on 0800 486 486.

Geotechnical assessment

If this property has been the subject of a Building Consent since 1 July 2020, a geotechnical assessment may have been supplied with that application. A geotechnical report may contain advice about ground conditions and natural hazards at that site including liquefaction and slope stability assessment as well as commentary on ground bearing capacity.

A geotechnical report supplied under the Building Act 2004 has not been identified for this property.

All available Building Consent geotechnical assessments are located in attached building files. For further information on this section, contact the **Building Team** on 0800 486 486

Natural hazards identified under the Resource Management Act 1991

Natural hazards identified under Resource Management Act 1991 during a consenting process could influence how land may be used and/or whether land can be built on, as well as any specification required to mitigate the risk of natural hazards. The definition of a natural hazard under the Resource Management Act can be found at the beginning of this section.

If this property has been the subject of a Resource Consent since 1 July 2020, a geotechnical assessment may have been supplied with that application. A geotechnical report may contain advice about the risk of natural hazards at the property.

A geotechnical report supplied under the Resource Management Act 1991 has not been identified for this property.

For further information contact the **Resource Consents Team** on 0800 486 486.

Natural hazard information provided by Greater Wellington Regional Council

This information has been provided by Greater Wellington Regional Council in accordance with the Local Government (Natural Hazard Information in Land Information Memoranda) Regulations 2025. No alteration has been made to this information.

Hazard information

Greater Wellington Regional Council holds information on natural hazards relevant to the region. Greater Wellington's hazard information has been developed to help the public, local authorities and others manage risk and make informed decisions about their exposure to natural hazards.

Please note this information has been produced at a range of scales and may not be property specific. Local Council District Plans may hold more detailed hazard information and rules on how they are applied in your area. This information is periodically updated as new studies and modelling is carried out.

- Fluvial (river) flood hazard
- Coastal flood hazard
- Tsunami hazard
- Wildfire hazard
- Seismic hazard

Climate change has the potential to exacerbate some of these hazards. More information about future changes to the regional climate can be found on the Greater Wellington website: <https://mapping1.gw.govt.nz/gw/ClimateChange/> and https://mapping1.gw.govt.nz/GW/ClimateChange_StoryMap/#.

Please contact **Greater Wellington Regional Council** at info@gw.govt.nz for more information.

For information on fluvial flood hazard please contact the Greater Wellington Regional Council's **Flood Advisory Team**

www.gw.govt.nz/your-region/emergency-and-hazard-management/flood-protection/flood-hazard-advice.

Be prepared

If your home, or place of work is vulnerable to a natural hazard we advise that you are prepared, with enough supplies for 7 days and an effective emergency plan. For further guidance please visit the Wellington Regional Emergency Management Office for more information www.wremo.nz. It is also recommended that you check that your insurance cover is appropriate for the hazards present.

Other natural hazard information

No other information found.

7. Other land and building classifications

In this section: information concerning the land and the property that the Council has the discretion to include if it considers it to be relevant

No information located.

8. Private and Public stormwater and sewerage drains

In this section: Information on private and public stormwater and sewerage drains as shown in the Council's records.

There is Council sewer reticulation available with a lateral. The location of the sewer lateral is shown on the services network plan. An as-built plan of private drainage storm water only is provided with this LIM.

Stormwater discharge is confined to site in soak pit(s). There is no record of any Council services running through the property.

For further information on this section, contact the **Plumbing & Drainage Team** on 0800 486 486.

9. Drinking water supply

In this section: information on whether the land is supplied with drinking water and if so, whether the supplier is the owner of the land or a networked supplier; any conditions that are applicable; and any information the Council has about the supply.

Council has a potable water supply system available with an ordinary on demand metered water supply connection. The Council service valve (manifold/toby) is shown on the services network plan provided with this LIM.

For further information on this section, contact the **Plumbing & Drainage Team** on 0800 486 486.

10. Network utility information

In this section: information which has been notified to the Council by any network utility operator pursuant to the Building Act 1991 or the Building Act 2004.

Contact Electra for power availability and Vector for gas availability.

11. Other information about the property

In this section: information concerning the land and the property that the Council has the discretion to include if it considers it to be relevant

No information found.

Cultural and Archaeological

The settlement history of the Kāpiti Coast suggests that there are still an unknown number of unidentified cultural and archaeological sites within the District and indeed these are still being discovered during earthworks from time to time. The Heritage NZ Pouhere Taonga Act 2014 provides for substantive penalties for unauthorised destruction or modification of an archaeological site.

More detail on what to look for and who to contact can be found on our website:

www.kapiticoast.govt.nz/Our-District/Tangata-Whenua

Development Impact Fees

Development Impact Fees consist of a combination of development contributions and financial contributions (including Reserves Contributions) from all new developments e.g. a new residential dwelling or a subdivision as well as new or expanded non-residential buildings.

Further information on the range of Development Impact Fees can be found on

[Development impact fees - Kāpiti Coast District Council](#)

12. Glossary of Terms and Maps attached

Aerial Photograph

A birds-eye view in colour of the property and its surrounds.

Deposited Plan

Sometimes referred to as a 'Flats Plan' or 'Title Plan.' A Deposited Plan covers more than one lot (or property) and has a diagram showing the boundary distances and the land area. A Record of Title relates to a specific property and shows current owner and interests (such as mortgages, encumbrances, and easements).

Building Information

This includes any information Council holds about any structure that is on the lot (property), e.g. plumbing, drainage and floor plans and elevation drawings of the building and any alterations or additions to it, together with any code compliance certificates. This may also include technical reports (such as geotechnical and/or structural reports) if available.

Services Network Map

Information on private and public stormwater and sewerage drains on the property as shown in Council's records.

Location of Health and Alcohol Licenses

This map shows the location of registered businesses in the neighbourhood that hold health and alcohol licenses.

Resource Consents

Included with this LIM are Reports and Maps of resource consents (if applicable that relate to the property) and a list of resource consents in the neighbourhood of the property that have been notified. The District Plan contains rules about different types of activities in different parts of the district. Anything not permitted by the Plan requires a resource consent. When a resource consent application is received the Council determines whether or not to notify it on the basis of the environmental effects under Section 95A-F of the Resource Management Act 1991.

Designation(s) (if applicable)

A designation is a planning technique used by Ministers of the Crown, councils and network utility operators approved as requiring authorities under section 167 of the Resource Management Act 1991. It provides for 'spot zoning' over a site, area or route in a district plan which authorises the requiring authority's work and activity on the site, area, or route without the need for a land use resource consent.

District Plan

Every city and district council is required to have a District Plan under the Resource Management Act 1991. The District Plan plays a big part in how Kāpiti develops. The rules in the Plan determine what you can and can't do on your property without permission from Council - whether it be subdividing, renovating, building a new garage or deck, or starting a home business. This LIM includes maps which show the Zone, Precinct, or Development Area (if relevant), the Features, Overlays and the Natural Hazards that relate to the rules in the District Plan.

Latest Flood Hazards

To better understand the extent of the flood hazard risk in the District and to assist in the potential mitigation of this risk, Council has over the years undertaken a number of floodplain management investigations. This map shows the latest flood hazard information; these are not necessarily included in the Operative District Plan (2021). This information is particularly relevant if you are considering subdividing the land or constructing a building.



RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Historical Search Copy




R.W. Muir
Registrar-General
of Land

Constituted as a Record of Title pursuant to Sections 7 and 12 of the Land Transfer Act 2017 - 12 November 2018

Identifier **WN530/96**
Land Registration District **Wellington**
Date Issued 02 October 1947

Prior References
WN476/289

Estate Fee Simple
Area 823 square metres more or less
Legal Description Lot 1 Deposited Plan 13513
Original Registered Owners
Kenneth Athol Howard, Judith Elaine Howard and Jonathan Lee Williams

Interests

K25836 Subject to the Building Line Restriction originally imposed by Section 17 of the Land Act 1924 (see now Section 22 of the Land Subdivision in Counties Act 1946)

7272717.1 Transfer to Christopher Malcolm Packer (1/2 share) and Jacqueline Anne Packer (1/2 share) - 13.3.2007 at 9:00 am

7272717.2 Mortgage to ASB Bank Limited - 13.3.2007 at 9:00 am

8547820.1 Discharge of Mortgage 7272717.2 - 22.10.2010 at 4:02 pm

8547820.2 Transfer to Claire Saunders and Glenn Robert Patrick - 22.10.2010 at 4:02 pm

8547820.3 Mortgage to Bank of New Zealand - 22.10.2010 at 4:02 pm

9612310.1 Notification that a building consent issued pursuant to Section 72 Building Act 2004 identifies Inundation (potential Ponding area) as a natural hazard - 6.1.2014 at 7:00 am

10182366.1 Removal of notification of building consent No 9612310.1 - 9.9.2015 at 7:00 am

12469766.1 Transfer to Claire Saunders (1/2 share) and Glenn Robert Patrick (1/2 share) - 9.6.2022 at 3:48 pm

Reference: Vol. 476, Folio 289
Transfer No. 304921
Application No.
Order for N/C No.

NEW ZEALAND



530/96

[Land and Deeds-4.]

Register-book.

Form B.

Vol. 530, folio 96

CERTIFICATE OF TITLE UNDER LAND TRANSFER ACT

This Certificate, dated the second day of October, one thousand nine hundred and forty-seven
under the hand and seal of the District Land Registrar of the Land Registration District of Wellington Witnesseth that
ROBERT GEORGE BURNIN HUDSON of Wellington Esq.

is seized of an estate in fee-simple (subject to such reservations, restrictions, encumbrances, liens, and interests as are notified by memorial under written or endorsed hereon, subject also to any existing right of the Crown to take and lay off roads under the provisions of any Act of the General Assembly of New Zealand) in the land hereinafter described, as the same is delineated by the plan hereon bordered green, be the several admeasurements a little more or less, that is to say: All that parcel of land containing THIRTY TWO AND FIFTY THREE ONE HUNDRED SIXTHS PERCHES more or less situate in Block I of the Peckahariki Survey District being part of Section 2 of the Waikato District and part of section thereto and being also Lot 1 on Deposited Plan No. 13513. (Town of Raumati-Extension No. 63).



District Land Registrar.

Subject to the building-line restriction
originally imposed by Section 17 of the
Land Act 1924 (Section 22 of the
Land Subdivision in Counties Act, 1946.) See K 21826

Fencing covenant contained in Transfer No. 304921.

495302
TRANSFERRED to George Eric Hagerup
PRODUCED 9.5.1962 at 2.52 pm
Transfer 522061 to George Eric Hagerup of
Wellington, Auckland 15.3.1962 at 9.45 am
dated 9.5.1962 at 2.52 pm

DISCHARGED 555240 to James Rennie Bilton - 9.4.1963

TRANSFERRED to Earl James Ambrose of
Wellington Company Director - 11.12.1963 at
2.12 pm

THIS REPRODUCTION (ON A REDUCED SCALE)
CERTIFIED TO BE A TRUE COPY OF THE
ORIGINAL REGISTER FOR THE PURPOSES OF
SECTION 215A LAND TRANSFER ACT 1952.

J. B. Smith A.L.R.

Transfer 935709 to Peter Dudley
Player of Raumati Beach Technician
and Anne Christine Player his
wife - 5.9.1972 at 9.21 am

J. B. Smith A.L.R.

EQUIVALENT METRIC
AREA IS 823 m²

530/96

Transfer 970714 to Errol Horace Law
of Wellington, Public Servant, and
Dorothy Murcott Law, his wife -
18.4.1973 at 10:40 o'clock.

[Signature]
A.L.R.

Transfer 177929.1 to Kenneth Athol
Howard of Raumati Beach, Company
Director and Judith Elaine Howard
his wife - 12.7.1977 at 1.51 p.m.

[Signature]
A.L.R.

81620311
Mortgage 424515.1 to Bank of New Zealand
- 26.2.1981 at 10.01 a.m.

DISCHARGED
28/5/1981

[Signature]
for D.L.R.

Settled under the Joint Family Homes Act
1964 on the above named registered proprietors
- 26.2.1981 at 10.01 a.m.
Application 424515.2

[Signature]
for D.L.R.

B.537619.1 Transfer to Kenneth Athol
Howard, of Raumati Beach, Insolvency
Practitioner, Judith Elaine Howard, of
Raumati Beach Typist/Secretary and
Jonathan Lee Williams of Wellington,
Solicitor - 5.9.1996 at 11:17 a.m.

[Signature]
A.L.R.



13513

Aerial Photography

9 Groves Road Raumati Beach - LOT 1 DP 13513 CT 530/96



0 10 20 Metres

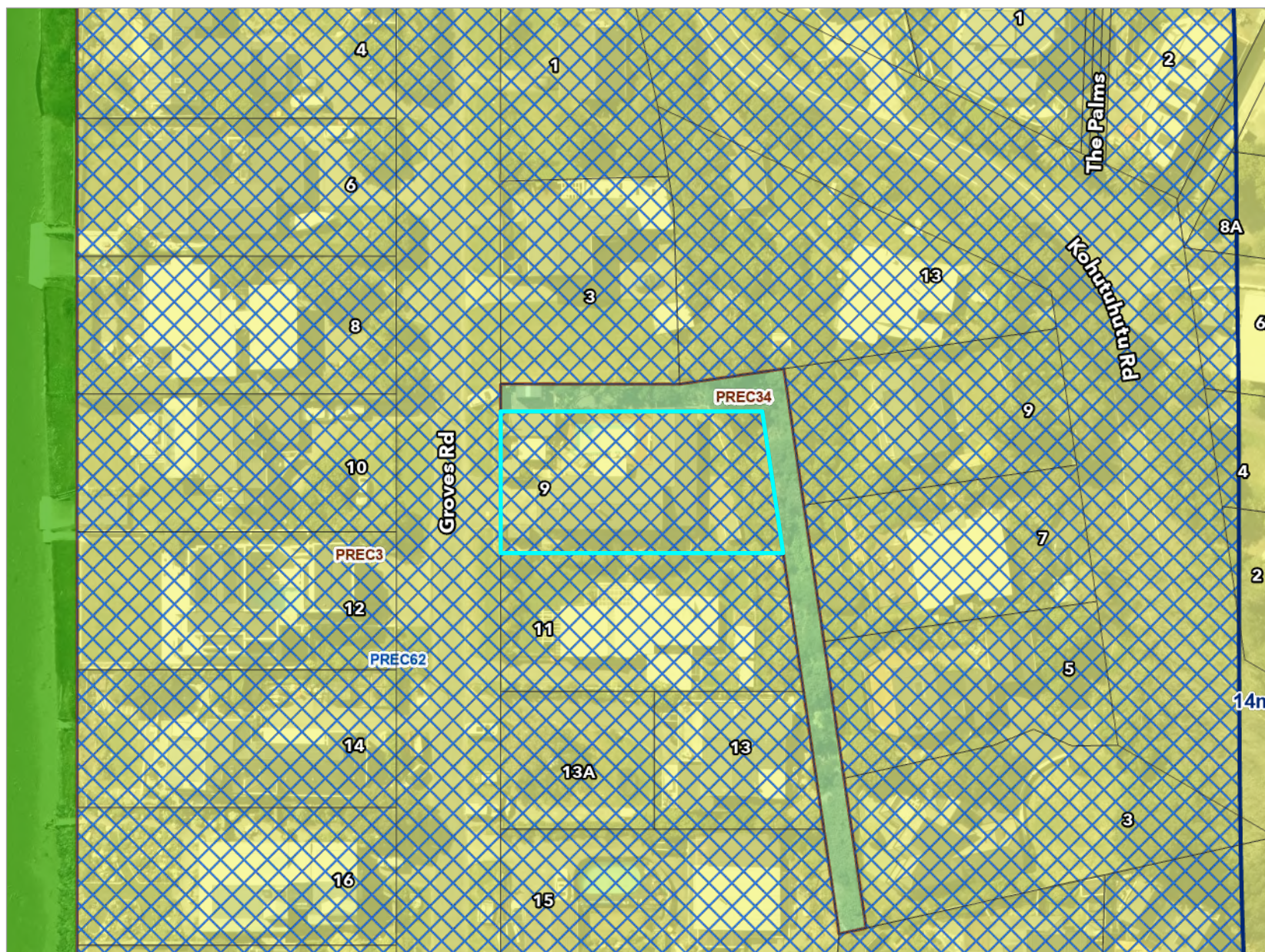
Scale @ A4 - 1:500

Date Printed: September 4, 2026

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Operative District Plan 2021 - Zones and Precincts

9 Groves Road Raumati Beach - LOT 1 DP 13513 CT 530/96



Key to map symbols

-  Height Variation Control Area
-  Precinct
-  Coastal Qualifying Matter Precinct
-  General Residential Zone
-  Natural Open Space Zone
-  Open Space Zone



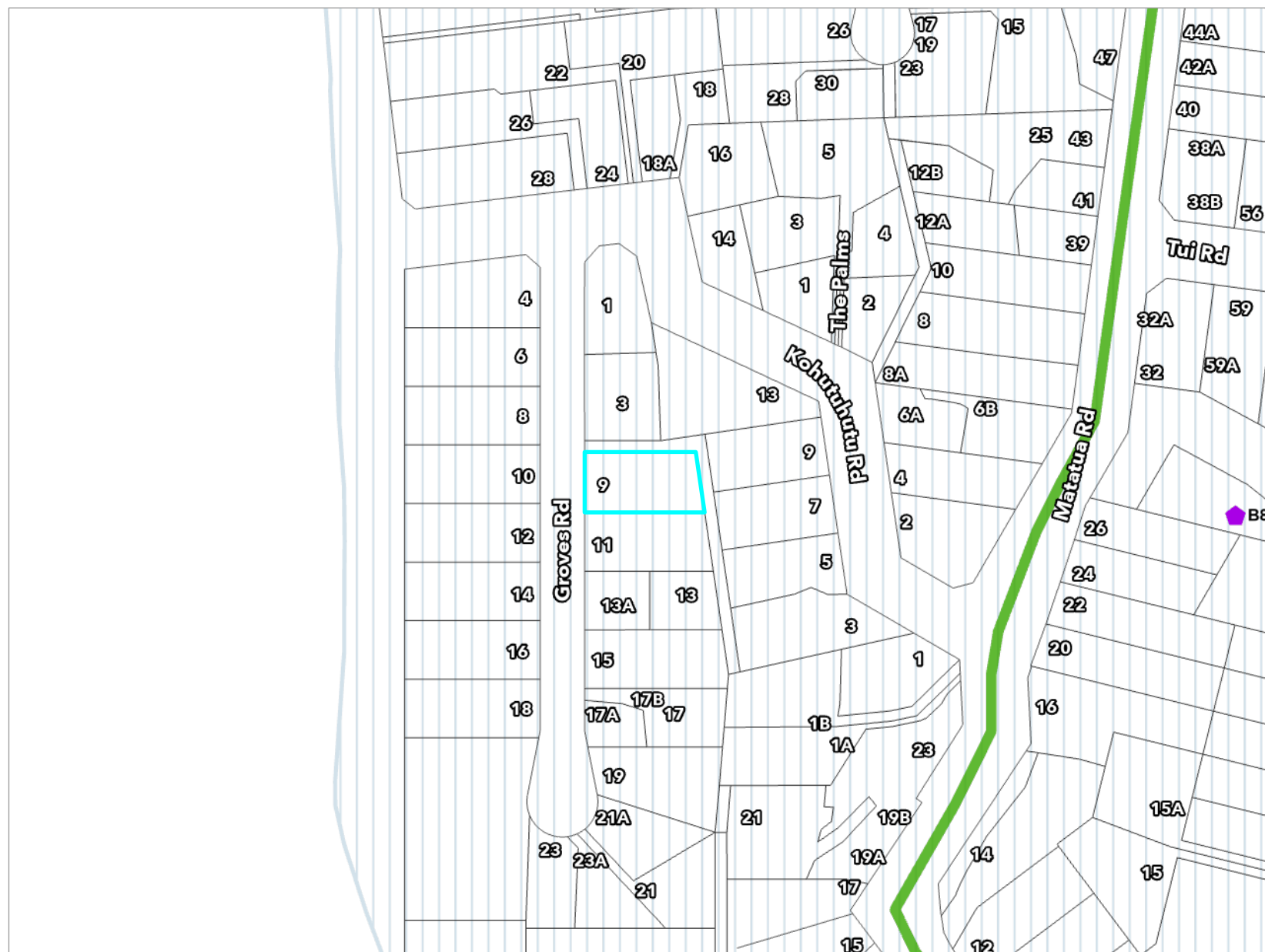
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Scale @ A4 - 1:850

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Operative District Plan 2021 - Historical, Cultural, Infrastructure & Districtwide

9 Groves Road Raumati Beach - LOT 1 DP 13513 CT 530/96



Key to map symbols

-  Major Community Connectors
-  Historic Heritage Places
-  Coastal Environment

The 'Key to map symbols' column above will be empty if no relevant District Plan Features are present in the area shown on this map.



0 40 80 Metres

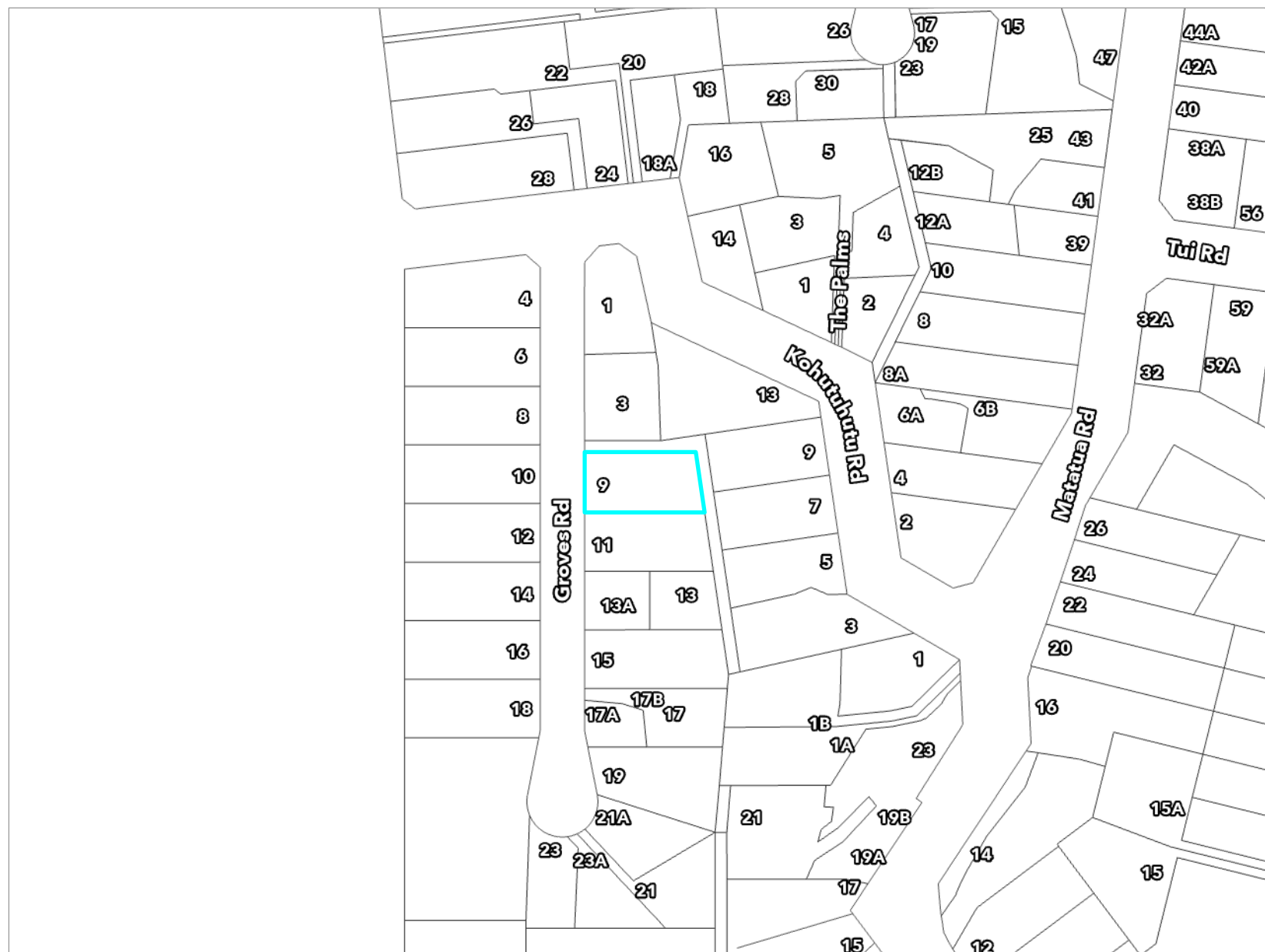
Scale @ A4 - 1:2,000

Date Printed: September 4, 2026

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Operative District Plan 2021 - Designations & Miscellaneous Features

9 Groves Road Raumati Beach - LOT 1 DP 13513 CT 530/96



Key to map symbols

The 'Key to map symbols' column above will be empty if no relevant District Plan Features are present in the area shown on this map.



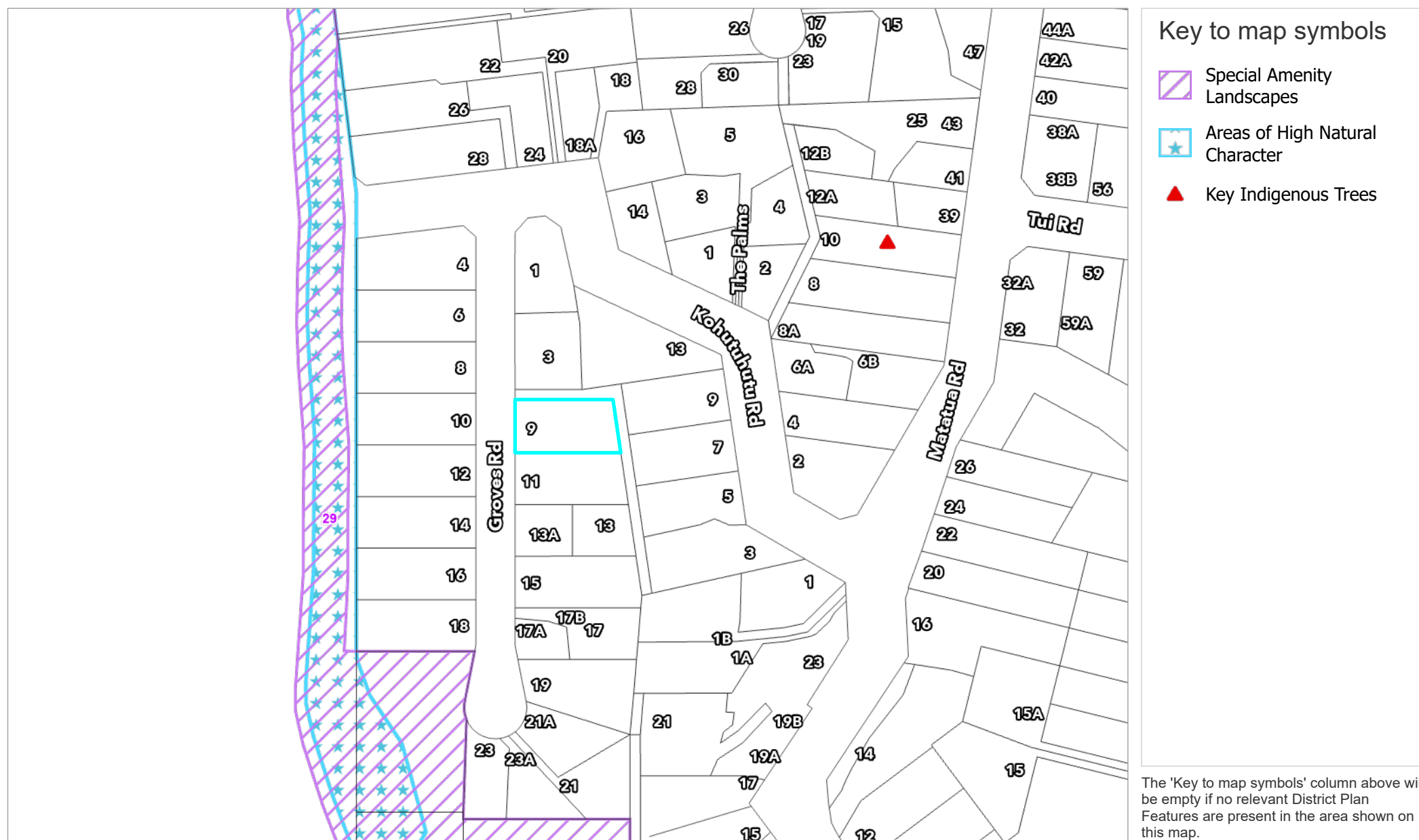
0 40 80 Metres
Scale @ A4 - 1:2,000

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Operative District Plan 2021 - Natural Features

9 Groves Road Raumati Beach - LOT 1 DP 13513 CT 530/96



Key to map symbols

-  Special Amenity Landscapes
-  Areas of High Natural Character
-  Key Indigenous Trees

The 'Key to map symbols' column above will be empty if no relevant District Plan Features are present in the area shown on this map.



0 40 80 Metres

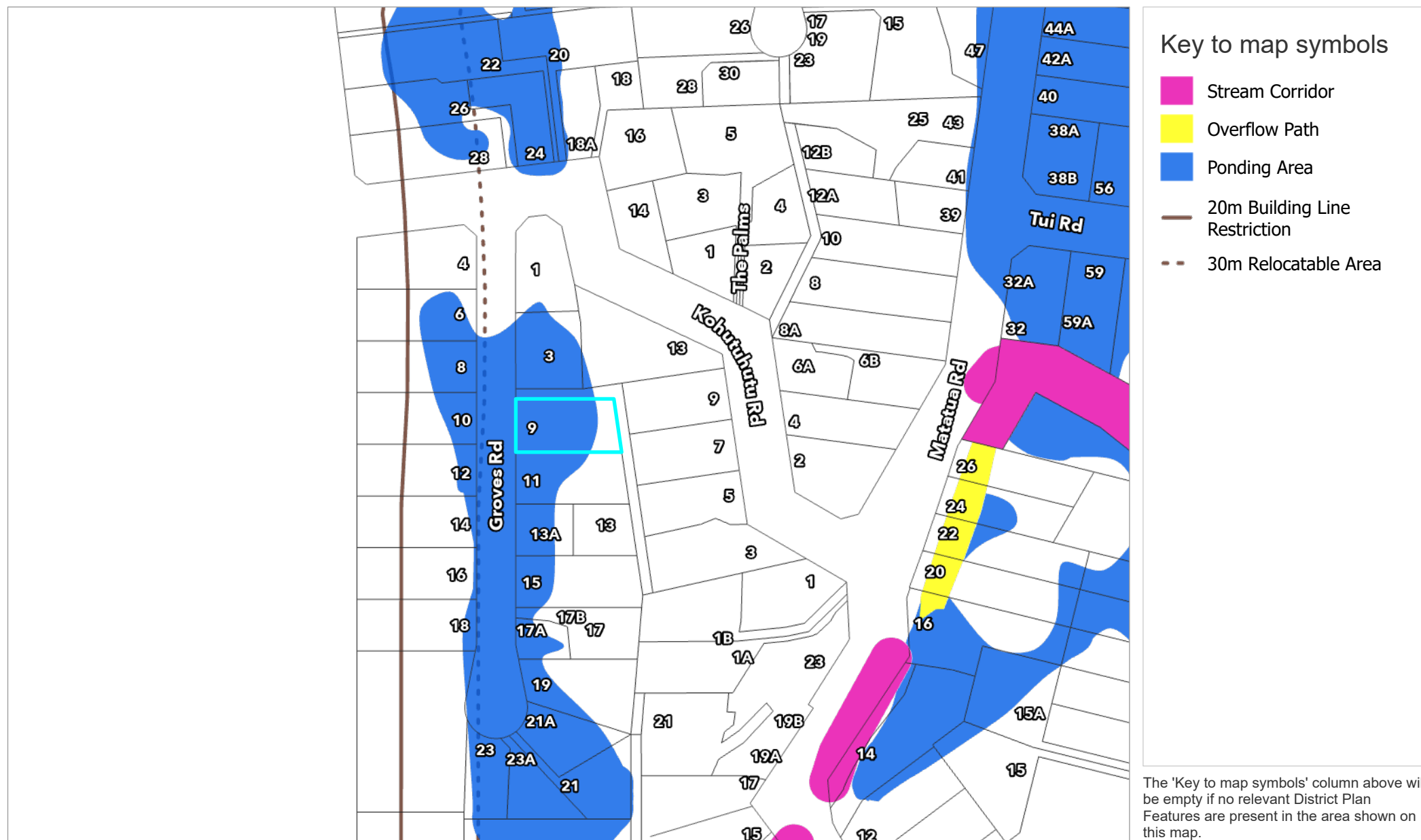
Scale @ A4 - 1:2,000

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Operative District Plan 2021 - Natural Hazards

9 Groves Road Raumati Beach - LOT 1 DP 13513 CT 530/96



0 40 80 Metres

Scale @ A4 - 1:2,000

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Latest Flood Hazards

9 Groves Road Raumati Beach - LOT 1 DP 13513 CT 530/96



0 90 180 Metres

Scale @ A4 - 1:4,000

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Resource Consents Map

9 Groves Road Raumati Beach - LOT 1 DP 13513 CT 530/96



Key to map symbols

 Resource Consents

The 'Key to map symbols' column above will be empty if no Resource Consents are present in the area shown on this map.



0 10 20 Metres

Scale @ A4 - 1:750

Date Printed: September 4, 2026

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Resource Consents Report

Resource Consent Number	Location	Valuation Number	Property Legal Description	Consent Type	Consent Proposal	Notified Yes/No	Hearing Yes/No	Consent Status	Decision Date	App.Date
020066	3 Groves Road, Raumati Beach	1528119800	PT LOT 1 DP 11155 CT 650/95	LD	GARAGE ADDITIONS ENCROACHING REAR YARD AND HEIGHT ENVELOPE	N	N	Decision Issued	29/4/2002	25/3/2002
040125	13 Groves Road, Raumati Beach	1528119400	LOT 3 DP 13513 CT 531/158	LD	Addition to deck encroaching height envelope	N	N	Decision Issued	4/6/2004	10/5/2004
030138	1 The Palms, Raumati Beach	1528118100	LOT 1 DP 370739 C/T 286633	LD	NEW DWELLING ENCROACHING HEIGHT ENVELOPE, SIDE and REAR YARDS	N	N	Decision Issued	11/6/2003	28/5/2003
030217	10 Groves Road, Raumati Beach	1528101100	LOT 15 DP 13513 CT 528/240	LD	Addition to dwelling encroaching height envelope	N	Y	Decision Issued	17/9/2003	19/8/2003
060092	1 The Palms, Raumati Beach	1528118100	LOT 1 DP 90204 -SUBJ TO ROW and EMNTS	LSC	Application to undertake a boundary adjustment	N	N	s.224 Issued	24/4/2006	29/3/2006
120183A	12 Groves Road, Raumati Beach	1528101000	LOT 14 DP 13513 CT 532/207	LD	Section 127 change of consent conditions for the dwelling at	N	N	Decision Issued	4/12/2014	21/11/2014
120183	12 Groves Road, Raumati Beach	1528101000	LOT 14 DP 13513 CT 532/207	LD	Proposed construction of a dwelling at 12 Groves Road,	N	N	Decision Issued	30/4/2013	10/12/2012

Resource Consent Number	Location	Valuation Number	Property Legal Description	Consent Type	Consent Proposal	Notified Yes/No	Hearing Yes/No	Consent Status	Decision Date	App.Date
110097	8 Groves Road, Raumati Beach	1528101200	LOT 16 DP 13513 CT 530/101	LD	Addition to existing building which encroaches into the	N	N	Decision Issued	15/7/2011	20/6/2011
160252	7 Kohutuhutu Road, Raumati Beach	1528120200	LOT 22 DP 10047 CT 449/98	LD	To construct a new carport and studio bedroom which	N	N	Decision Issued	22/12/2016	27/10/2016
160007	13 Groves Road, Raumati Beach	1528119400	LOT 3 DP 13513 CT 531/158	SN	Two lot residential subdivision	N	N	s.221 Consent Notice	12/2/2016	14/1/2016
180216	6 Groves Road, Raumati Beach	1528101300	LOT 17 DP 13513 CT 531/159	LD	Construct additions to a dwelling within the no-build area	N	N	Decision Issued	12/11/2018	8/10/2018
200013	8 Groves Road, Raumati Beach	1528101200	LOT 16 DP 13513 CT 530/101	LDR	To undertake additions to an existing garage that will be	N	N	Decision Issued	25/2/2020	22/1/2020
190270	8 Groves Road, Raumati Beach	1528101200	LOT 16 DP 13513 CT 530/101	LDR	To extend the existing garage that does not meet the	N	N	Application Returned incomplete		12/11/2019
210208	4 Groves Road, Raumati Beach	1528101400	LOT 18 DP 13513 CT 530/299	LD	To construct a dwelling that is partially located within the	N	N	Letter Generated	6/12/2021	9/9/2021
230159	4 Groves Road, Raumati Beach	1528101400	LOT 18 DP 13513 CT 530/299	LD	Additions to existing dwelling and construction of second	N	N	Letter Generated	8/11/2023	26/9/2023
220323	13 Kohutuhutu Road, Raumati Beach	1528120000	PT LOT 101 BLK I DP 2767 LOT 5 PT LOT 4	LDR	Undertake a two-lot subdivision on creating no additional	N	N	Decision Issued	11/1/2024	7/12/2022

Resource Consent Number	Location	Valuation Number	Property Legal Description	Consent Type	Consent Proposal	Notified Yes/No	Hearing Yes/No	Consent Status	Decision Date	App.Date
220322	7 Kohutuhutu Road, Raumati Beach	1528120200	LOT 22 DP 10047 CT 449/98	LD	To construct an accessory building (garage/studio) not	N	N	Letter Generated	19/12/2022	7/12/2022
250088	10 Groves Road, Raumati Beach	1528101100	LOT 15 DP 13513	LD	Undertake earthworks that do not comply with the permitted	N	N	Decision Issued	14/7/2025	3/6/2025
930168	17 Groves Road, Raumati Beach	1528119200	LOT 2 DP 80175	SC	1 ADDITIONAL RESIDENTIAL LOT	N	N	Decision Issued	18/6/1993	1/6/1993
960321	17A Groves Road, Raumati Beach	1528119201	LOT 1 DP 80175	LC	TO BUILD A NEW HOUSE SITE	N	N	Decision Issued	10/9/1996	14/8/1996
940220	3 Kohutuhutu Road, Raumati Beach	1528120400	LOT 2 DP 65296 CT 34B/894	SC	1 ADDITIONAL RESIDENTIAL LOT	N	N	s.223 Approval	8/11/1994	10/10/1994
990463	1 The Palms, Raumati Beach	1528118100	LOT 1 DP 370739 C/T 286633	SD	TO SUBDIVIDE 3 PROPERTIES INTO 6 RESIDENTIAL LOTS AND ROW	Y	N	s.224 Issued	17/2/2000	15/11/1999
990467	1 The Palms, Raumati Beach	1528118100	LOTS 7 8 DP 10047 CT 568/135	LD	EARTHWORKS, 113 CUBIC METRES APPROX TO REMOVE TOP OF	N	N	Decision Issued	14/12/1999	17/11/1999
990390	3 Kohutuhutu Road, Raumati Beach	1528120400	LOT 2 DP 65296 CT 34B/894	SC	SUBDIVISION, ONE ADDITIONAL RESIDENTIAL LOT, BOTH LOTS	N	N	Decision Issued	26/10/1999	28/9/1999

Resource Consent Number	Location	Valuation Number	Property Legal Description	Consent Type	Consent Proposal	Notified Yes/No	Hearing Yes/No	Consent Status	Decision Date	App.Date
PB260014	10 Groves Road, Raumati Beach	1528101100	LOT 15 DP 13513	PB	Height in relation to boundary envelope GRZ-R6(7) - 2.1M and	N	N	Decision Issued	25/6/2026	12/6/2026

Health and Alcohol Licenses

9 Groves Road Raumati Beach - LOT 1 DP 13513 CT 530/96



Key to map symbols

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0 20 40 Metres

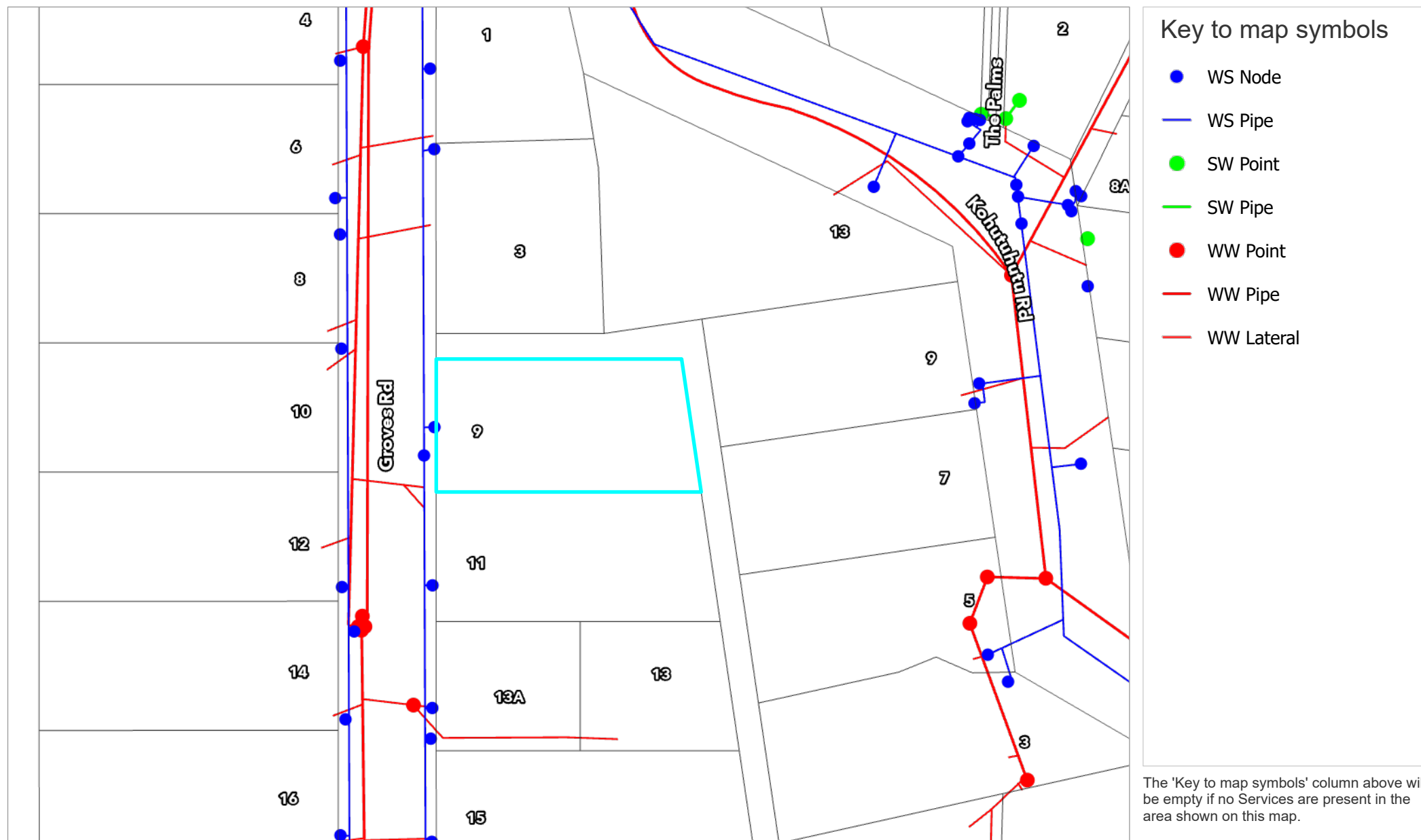
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Services Network

9 Groves Road Raumati Beach - LOT 1 DP 13513 CT 530/96

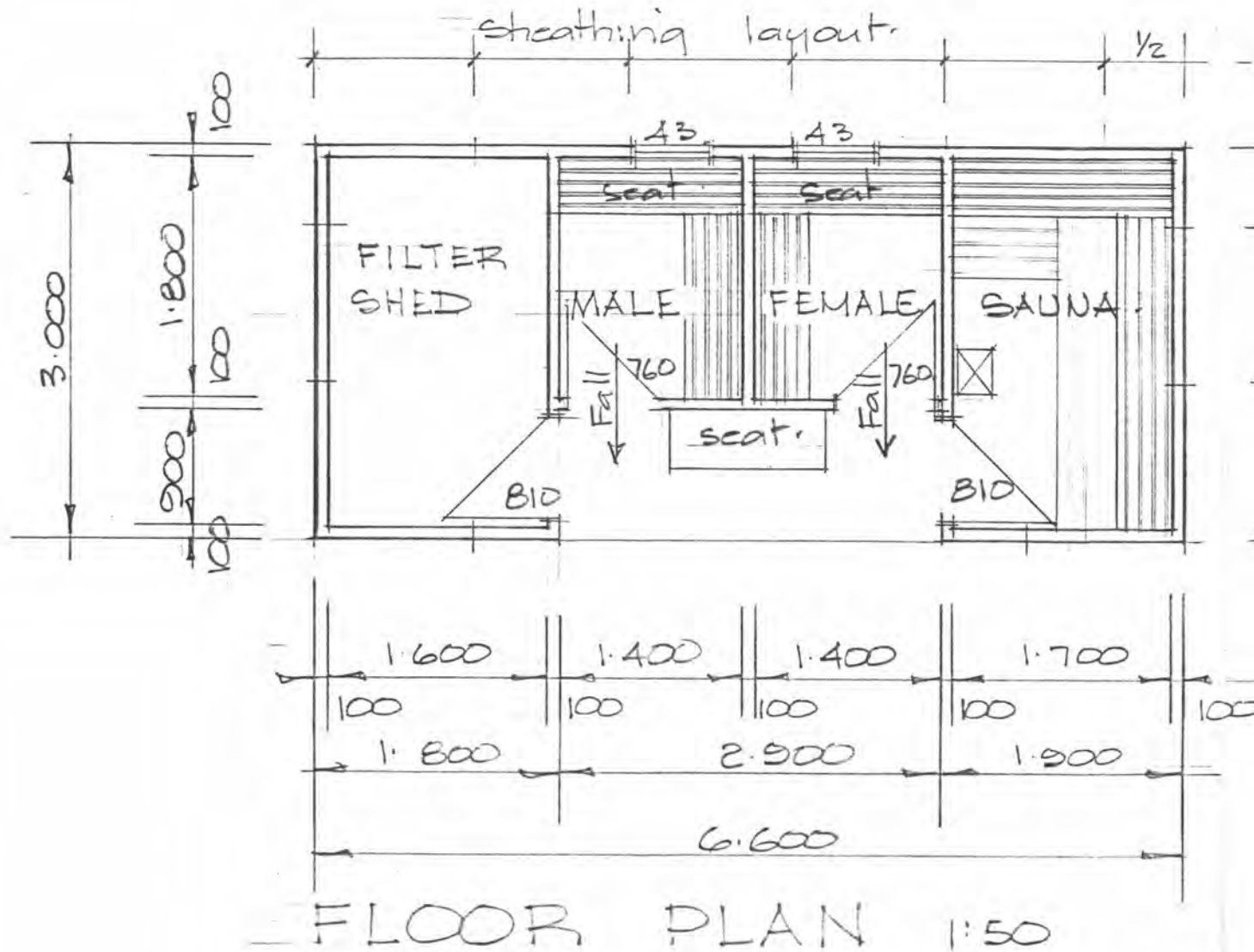
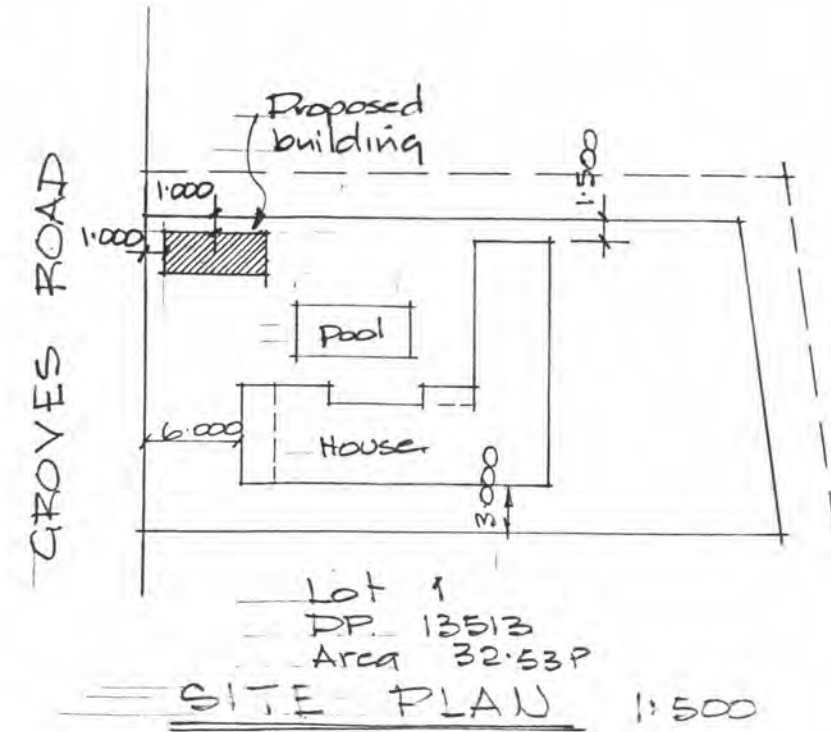
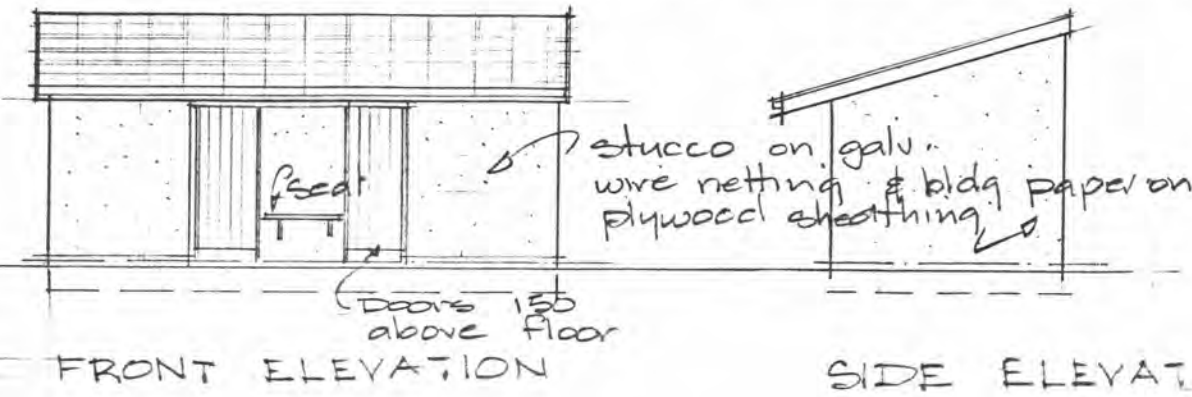
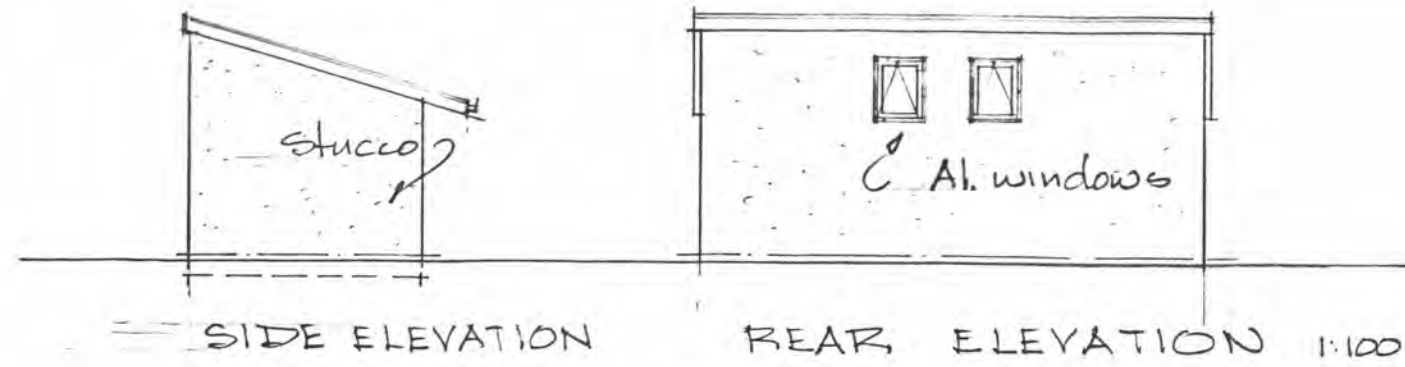


0 10 20 Metres

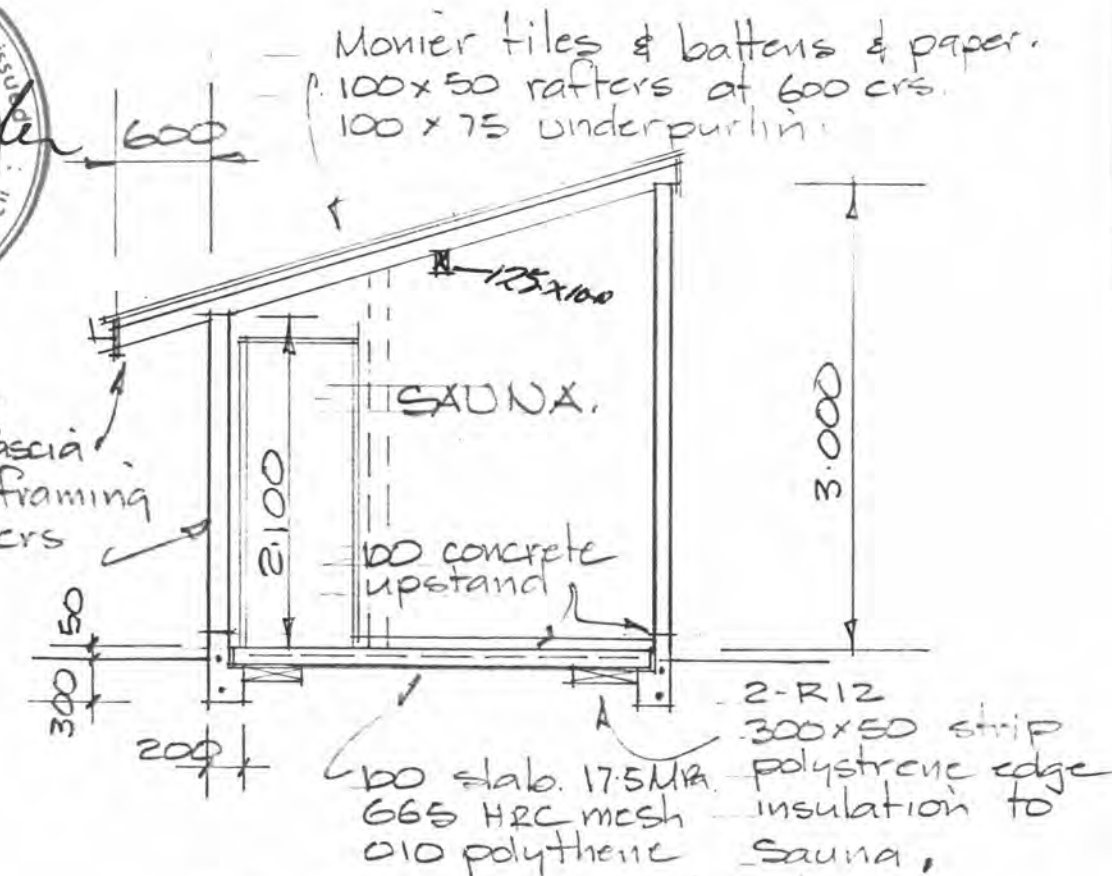
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Date Printed: September 4, 2026

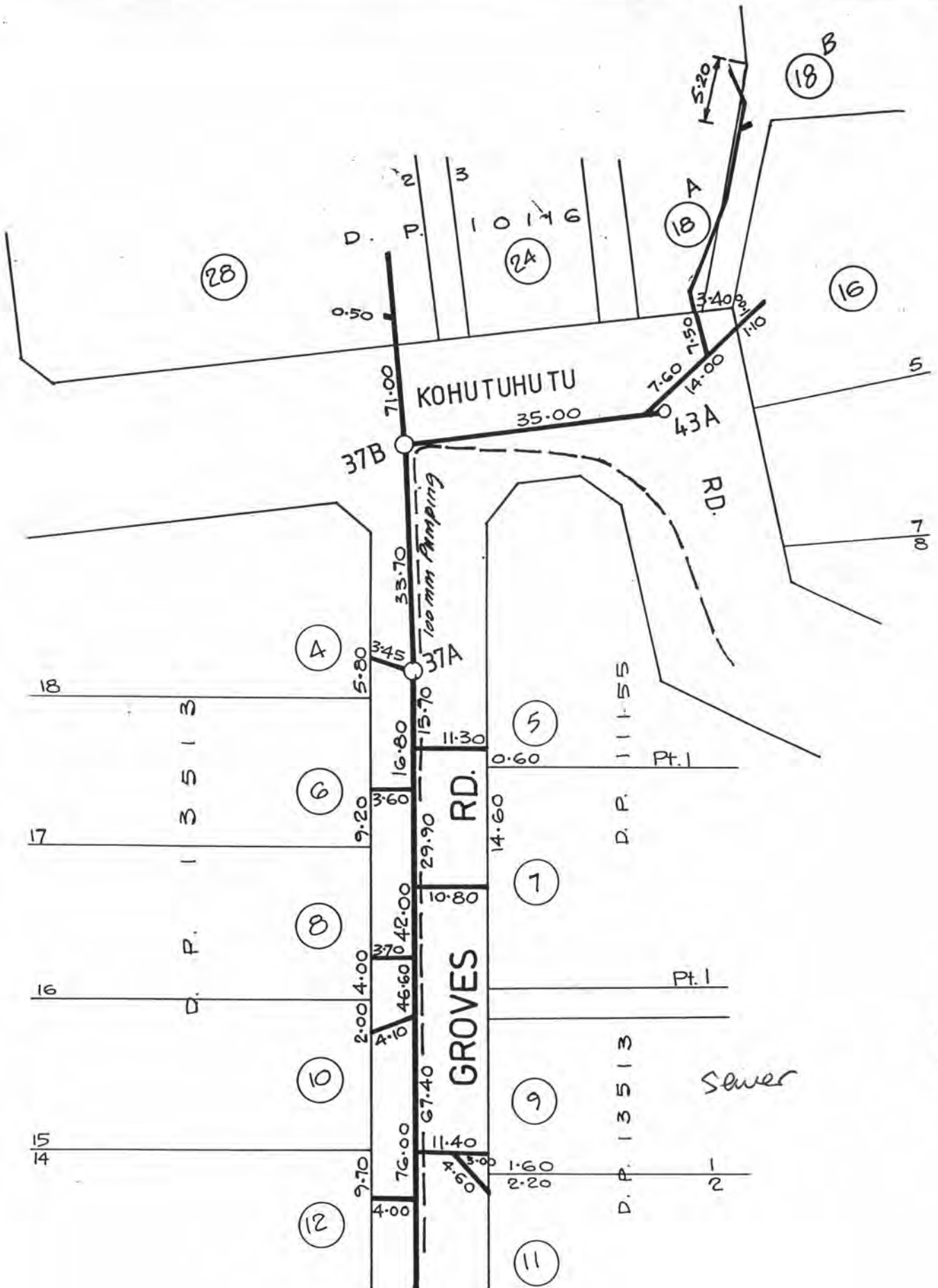
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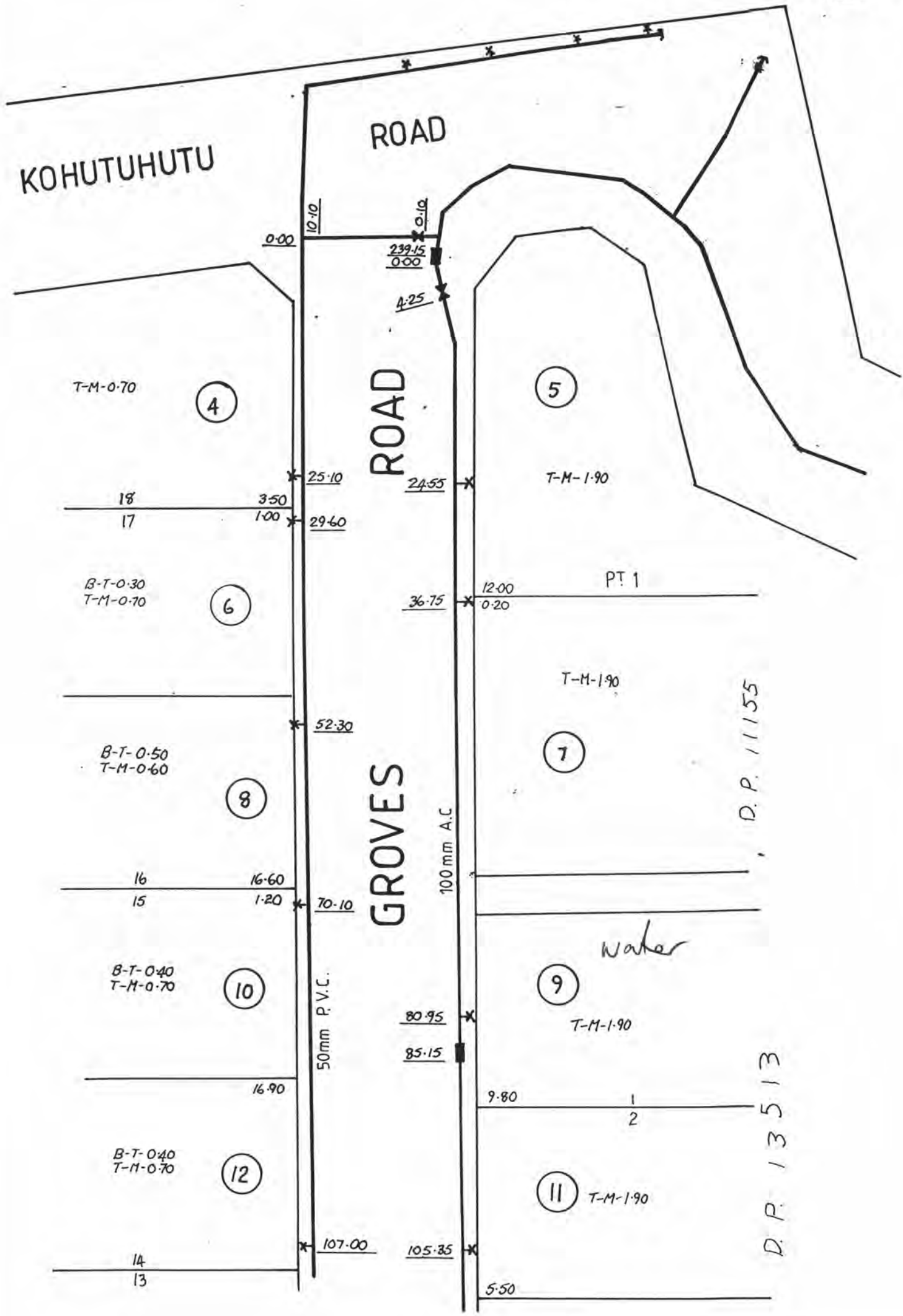


150x25
T.W. PP fascia
100x50 framing
at 600 crs
Nº1.



SAUNA & CHANGING SHED P1037





DRAINAGE PLAN NOTES:

- All Plumbing and Drainage to be in accordance with AS/NZS 3500 PART 2.2 for ground floor systems and for single stack systems
- Plumber/drainlayer to fill out producer statement and return to council with an as built drainage plan
- Check PIM information for service connections
- pipes to be inspected before covering with sand
- A tempering valve is required to be installed on the hot water service
- Builder to ensure that proposed floor level will allow satisfactory fall of drains to sewer connections

PIPE GRADIENTS

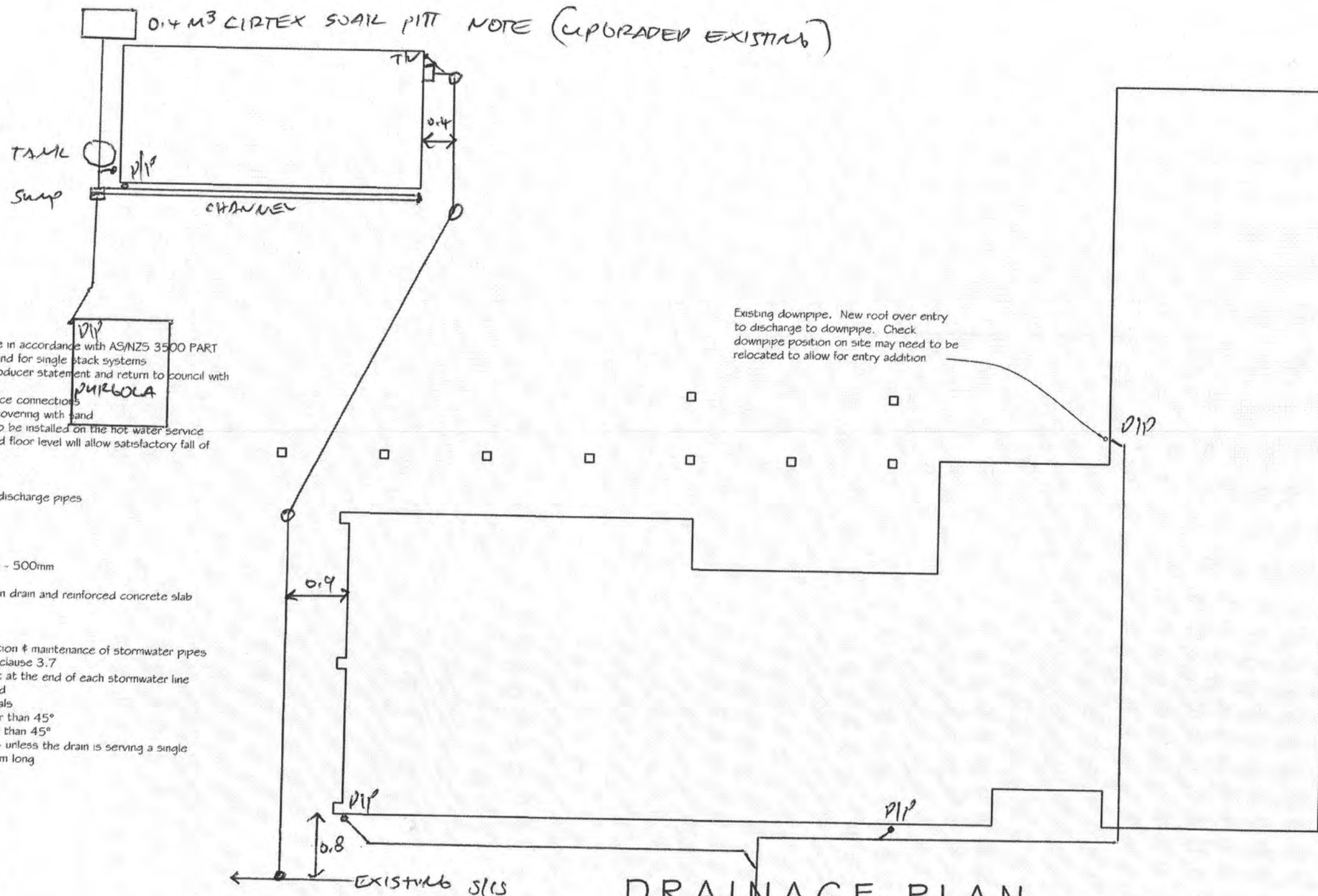
- Minimum grades for drains and discharge pipes
650 & less = 1 in 40
800 & 1000 = 1 in 60

DEPTH OF DRAINS

- Under driveways & right of ways - 500mm
- Under grassed area - 300mm
- Under buildings - 25mm between drain and reinforced concrete slab

INSPECTION POINTS - stormwater

- Inspection points for the inspection & maintenance of stormwater pipes shall comply with NZBC E1/AS1 clause 3.7
- Allow for a 900 inspection point at the end of each stormwater line
- Inspection points shall be located
 - At no more than 50m intervals
 - Changes in direction greater than 45°
 - Changes in gradient greater than 45°
 - Junctions with other drains - unless the drain is serving a single downpipe and is less than 2m long



DRAINAGE PLAN

Scale 1:100

1.3 M³ SOAK PITT
CIPTEX
(NOTE - UPGRADED EXISTING)

KAPITI ARCHITECTURAL DESIGN LTD

Phone: (04) 905 7380
Mobile: 0275 114 744
Email: rochelle@kapitidesign.co.nz
P O Box 296, Waikanae 5036
www.kapitidesign.co.nz

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Drawings are to be read in conjunction with specification, contract documentation & other consultants drawings and specifications.

Contractor to verify all dimensions on site prior to commencing work.
Contact designer if in doubt.

**Proposed Addition & Alterations
For C Saunders & G Patrick
At 9 Groves Road
RAUMATI BEACH**

BUILDING CONSENT

Revisions:

A 5/08/13 building consent

Designer:
R Dennis

Date:
JUNE 2013

Scale:
1:100

Revision: A

Project Number:

318

Drawing Number:

2

Of 30
(A3 Original)

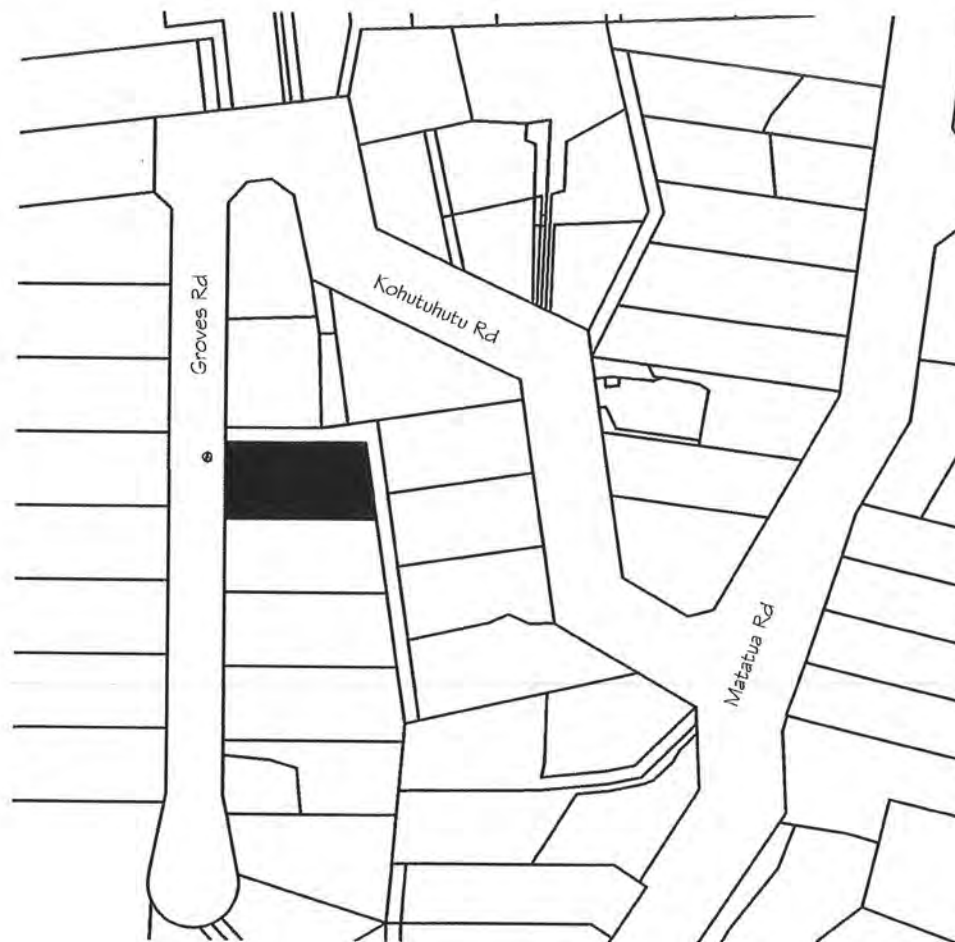
BC 130685

Council has no record of any services in the vicinity of
of the proposed work. Take care

ensure that any services are sited clear of the proposed work.

Planning
Approved by
Jill Burke
14/11/2013

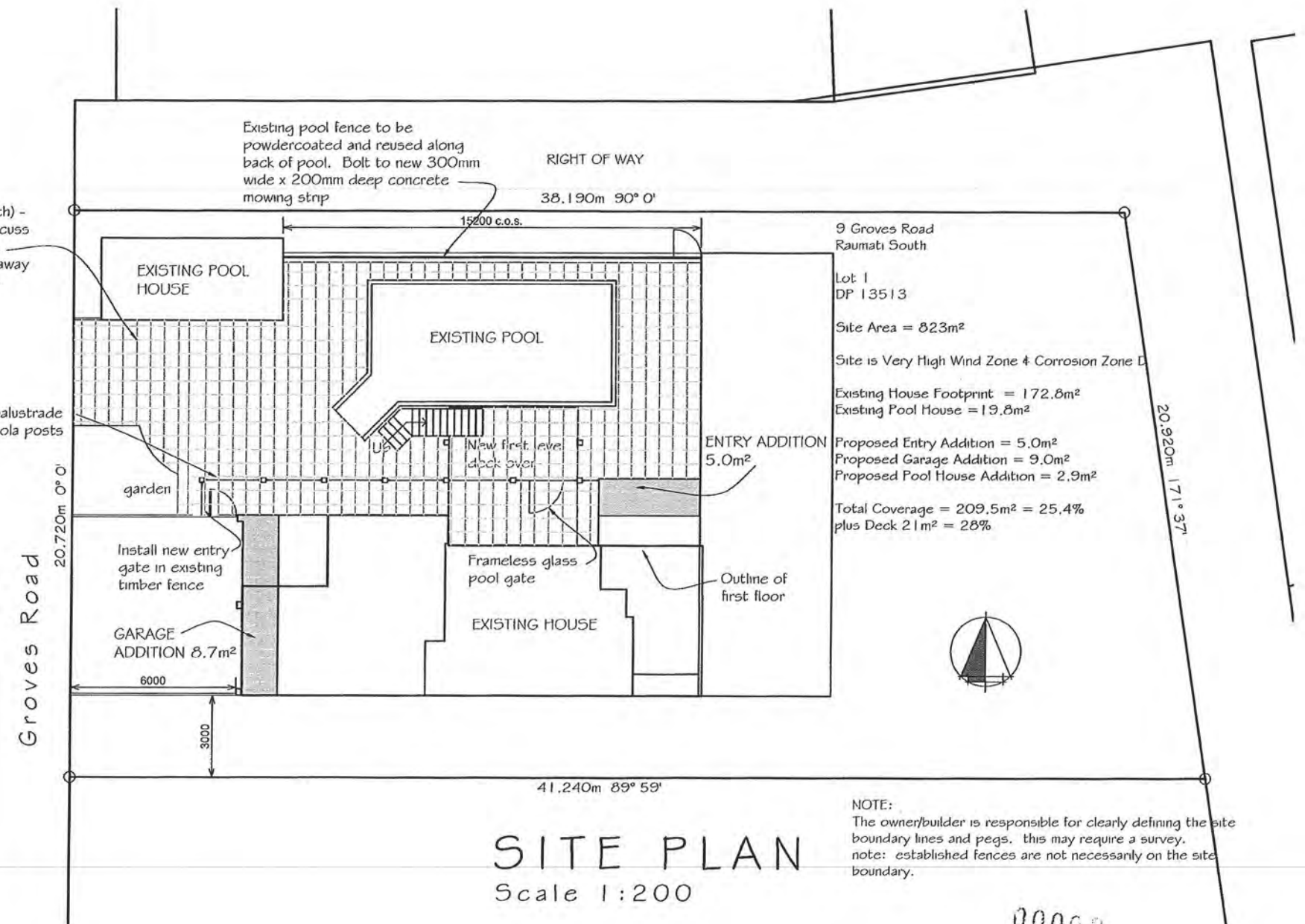
APPROVED
BY
PLUMBING
AND
DRAINAGE
24/10/2013



LOCALITY PLAN

New paving
(500x500 firth) -
check and discuss
levels on site.
Paving to fall away
from buildings

Re-use pool balustrade
between pergola posts



NOTE: Durability Zone D
All sheltered and exposed fixings to be
Type 304 Stainless Steel

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For C Saunders & G Patrick
At 9 Groves Road
RAUMATI BEACH
BUILDING CONSENT**

Revisions:

A 5/08/13 building consent

Designer:

R Dennis

Date:

JUNE 2013

Scale:

1:2000; 1:200

Revision: A

Project Number:

318

Drawing Number:

1

Of 30

(A3 Original)

Stormwater is to be connected to the existing stormwater system.

DRAINAGE PLAN NOTES:

- All Plumbing and Drainage to be in accordance with AS/NZS 3500 PART 2.2 for ground floor systems and for single stack systems
- Plumber/drainlayer to fill out producer statement and return to council with an as built drainage plan
- Check PIM information for service connections
- pipes to be inspected before covering with sand
- A tempering valve is required to be installed on the hot water service
- Builder to ensure that proposed floor level will allow satisfactory fall of drains to sewer connections

PIPE GRADIENTS

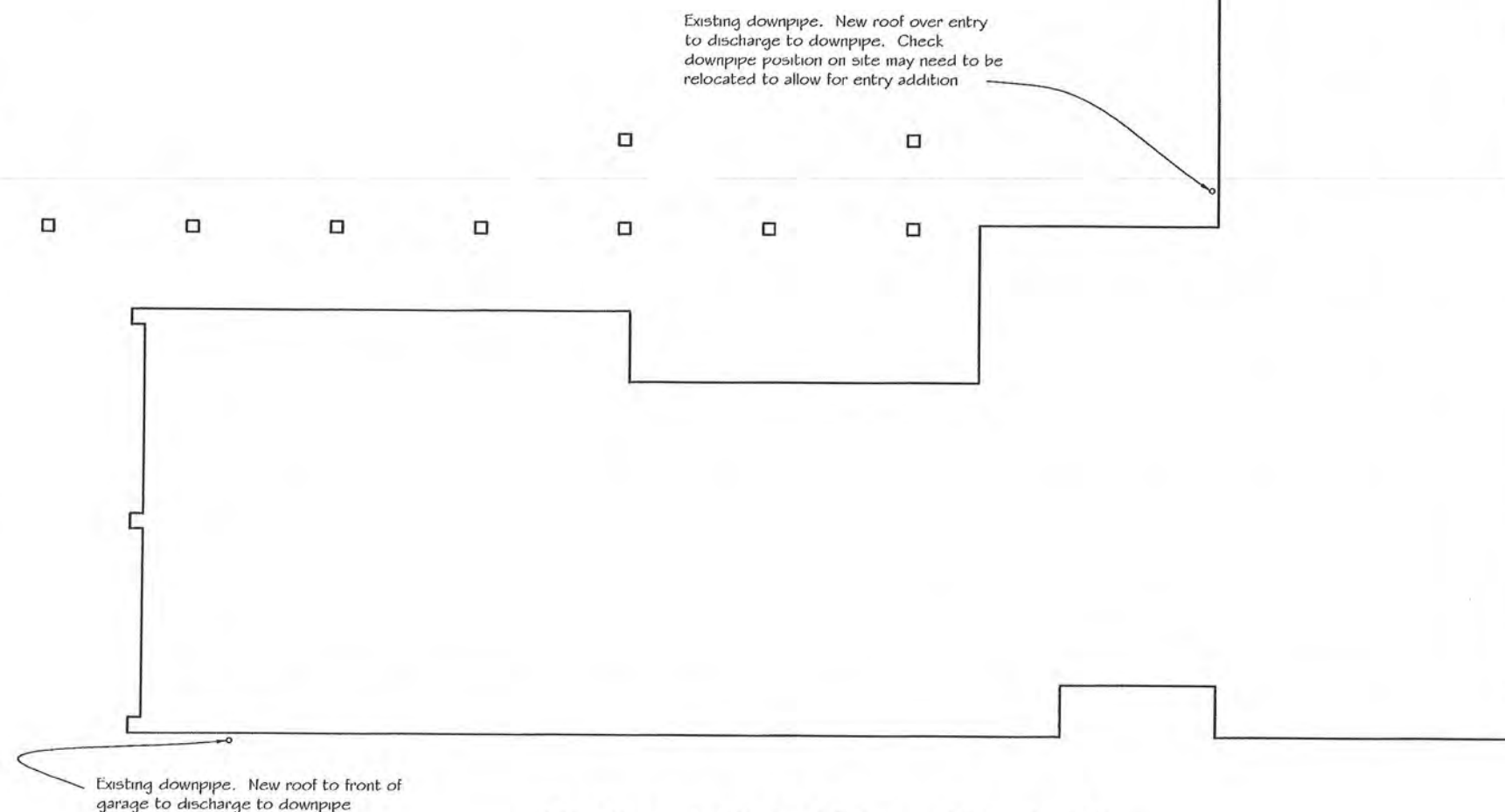
- Minimum grades for drains and discharge pipes
65Ø & less = 1 in 40
80Ø & 100Ø = 1 in 60

DEPTH OF DRAINS

- Under driveways & right of ways - 500mm
- Under grassed area - 300mm
- Under buildings - 25mm between drain and reinforced concrete slab

INSPECTION POINTS - stormwater

- Inspection points for the inspection & maintenance of stormwater pipes shall comply with NZBC E1/AS1 clause 3.7
- Allow for a 90Ø inspection point at the end of each stormwater line
- Inspection points shall be located
 - At no more than 50m intervals
 - Changes in direction greater than 45°
 - Changes in gradient greater than 45°
 - Junctions with other drains - unless the drain is serving a single downpipe and is less than 2m long



DRAINAGE PLAN

Scale 1:100

00003



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For C Saunders & G Patrick
At 9 Groves Road
RAUMATI BEACH**

BUILDING CONSENT

Revisions:

A 5/08/13 building consent

Designer:
R Dennis

Date:
JUNE 2013

Scale:
1:100

Revision: A

Project Number:

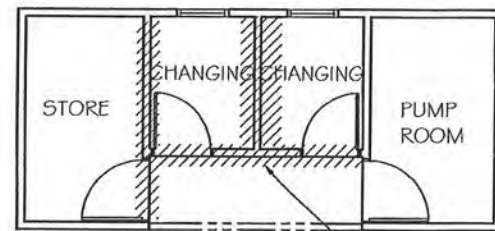
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Drawing Number:

2

Of 30

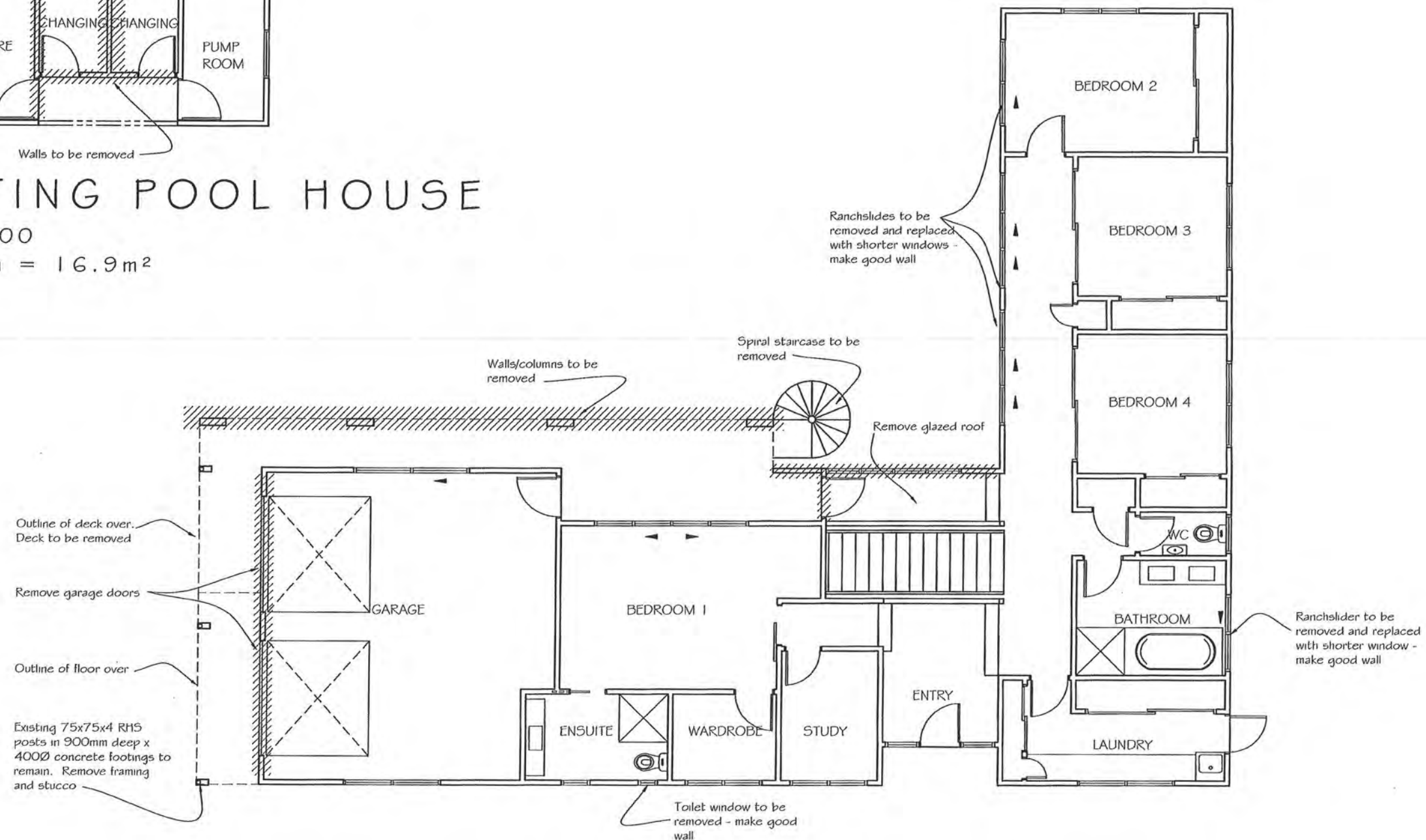
(A3 Original)



Walls to be removed

EXISTING POOL HOUSE

Scale 1:100

Floor Area = 16.9m²

EXISTING GROUND FLOOR PLAN

Scale 1:100

Floor Area = 171m²

All exterior window and door joinery to be removed and replaced unless otherwise noted.

00004

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RAUMATI BEACH**

BUILDING CONSENT

Revisions:

A 5/08/13 building consent

Designer:
R Dennis

Date:
JUNE 2013

Scale:
1:100

Revision: A

Project Number:

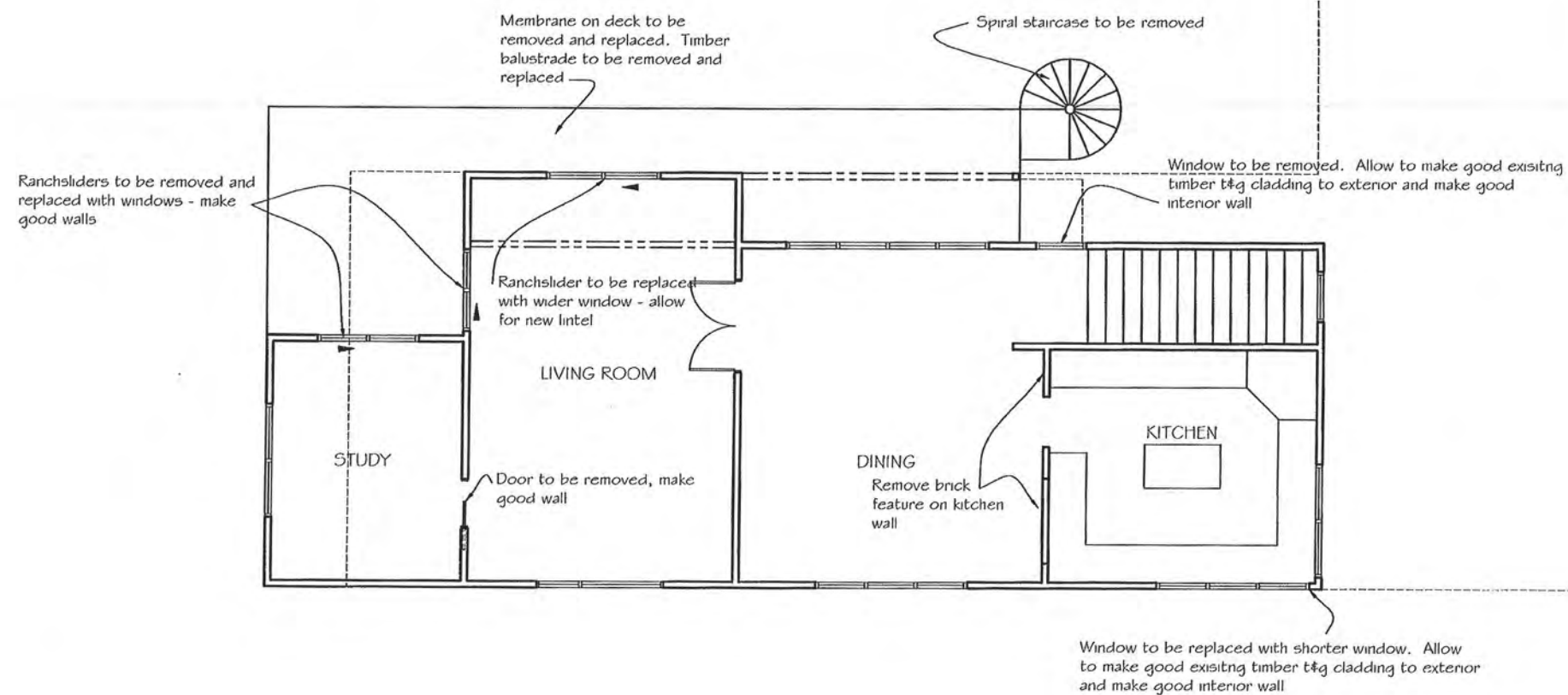
318

Drawing Number:

3

Of 30

(A3 Original)



EXISTING FIRST FLOOR PLAN

Scale 1:100

00065



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For C Saunders & G Patrick
At 9 Groves Road
RAUMATI BEACH**

BUILDING CONSENT

Revisions:

A 5/08/13 building consent

Designer:
R Dennis

Date:
JUNE 2013

Scale:
1:100

Revision: A

Project Number:

318

Drawing Number:
4

Of 30
(A3 Original)

Of 30

FRAMING PLAN NOTES:

GENERAL NOTES:

- This site is in the Very High Wind Zone area
- All work must be carried out to conform to relevant sections of the New Zealand Building Code and New Zealand Standard - in particular NZS 3604, NZS 3602 & NZS 4218. All references to Standards shall be taken as reference to the latest revision including amendments.
 - Confirm site boundaries with licenced surveyor. Fences may not necessarily be on the legal boundary.
 - All work to be carried out to best trade practice.
 - Do Not Scale off Building Consent Documentation issued from TA's as the plans may have been scanned and the scale distorted.

INTERNAL LININGS

WALLS:

- Generally - 10mm Standard Gib Board
- Bathrooms, Laundry & Kitchen - 10mm Gib Aqualine

FRAMING

Exterior Walls & Internal Load Bearing Walls:

Up to 2.7m

90x45 SG8 at 400 crs H1.2

Interior Non Load Bearing Walls:

Up to 2.7

90x45 SG8 at 400 crs H1.2

- Prenail framing and truss manufacturer to confirm lintel sizes and provide a producer statement for framing, window lintels and trusses.
- Window openings to be 20mm larger than window sizes (10mm tolerance each side)
- All bottom plates and framing to shower areas to be H1.2.
- Allow to recess exterior plywood bracing panels into framing where direct fix claddings are used.
- Allow for dwangs to fix fittings as required by owner.
- Wall junctions shall be framed up with not less than 2 studs blocked and nailed.
- Maximum diameter hole in 90mm stud to be 25mm or 35mm diameter where not more than 3 consecutive studs are drilled.
- Lintels supporting rafters or trusses shall be secured against uplift as per clause 8.6.1.7 & table 8.14, Figure 8.12, NZS 3604:2011
- Confirm building wrap is able to be used with timber treatment.

Top Plate Fixing

The fixing of top plates supporting roof trusses to wall studs or lintels shall be in accordance with table 8.18, NZS 3604:2011

Joints in top plates to comply with clause 8.7.3 & figures 8.14-8.16, NZS 3604:2011

Bottom Plate Fixing

External walls and internal wall bracing elements
100x3.75 - 2 at 600 crs
90x3.15 power driven - 3 at 600 crs
Internal walls (may be nailed to flooring)
100x3.75 - 1 at 600 crs
90x3.15 power driven - 1 at 600 crs
Refer to manufacturers requirements for bracing for additional fixings

- Holes in plates to comply with clause 8.7.5 & figure 8.19, NZS 3604:2011
- Refer to Bracing Plan and Manufacturers specifications for additional framing fixings.

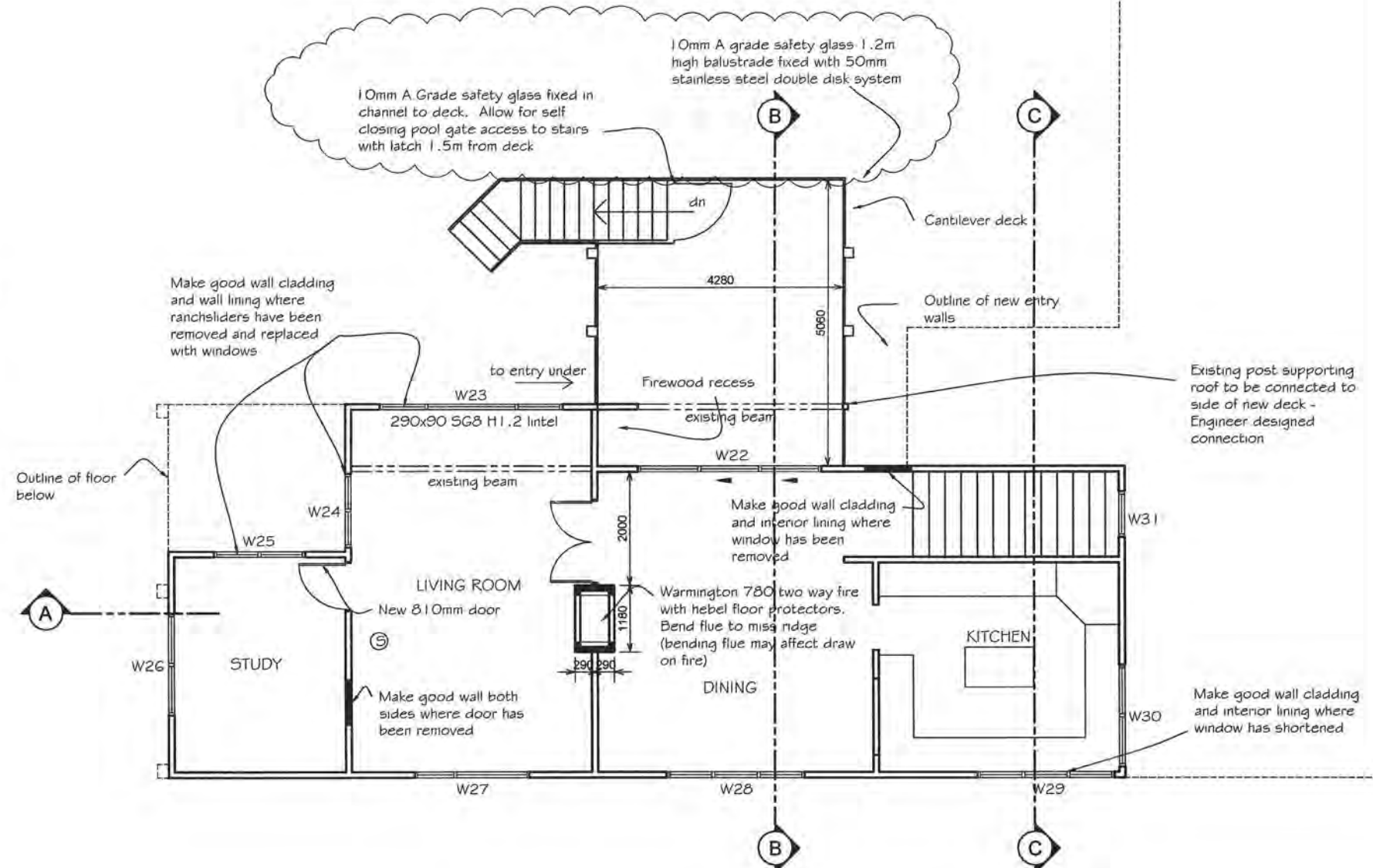
SOLID FUEL BURNING APPLIANCES

- Warmington 780 two way woodburner
- Install solid fuel burning appliances to the requirements of NZS 7421:1990; NZS 2918:2001 and applicable specifications subject to local council approval prior to installations. Units must comply with the Ministry of Environment emission standard dated 1st September 2005
- Maximum particle discharge of 1.5g/kg
- Minimum thermal efficiency of not less than 65%

Electrical layout to be confirmed on site

All electrical work to comply with AS/NZS 3000. Electrician to provide code of compliance certificate on completion

Ⓢ = approved smoke detector to comply with NZBC clause F7



PROPOSED FIRST FLOOR PLAN

Scale 1:100

Floor Area = 92m²

(Deck Area = 21m²)



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DO NOT SCALE OFF DRAWINGS

These drawings are copyright.

Drawings are to be read in conjunction with specification, contract documentation & other consultants drawings and specifications.

Contractor to verify all dimensions on site prior to commencing work. Contact designer if in doubt.

**Proposed Addition & Alterations
For C Saunders & G Patrick
At 9 Groves Road
RAUMATI BEACH**

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B 19/11/13 RFI

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FRAMING PLAN NOTES:

GENERAL NOTES:

- This site is in the Very High Wind Zone area
- All work must be carried out to conform to relevant sections of the New Zealand Building Code and New Zealand Standard - in particular NZS 3604, NZS 3602 & NZS 4218. All references to Standards shall be taken as reference to the latest revision including amendments.
 - Confirm site boundaries with licenced surveyor. Fences may not necessarily be on the legal boundary.
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INTERNAL LININGS

WALLS:

- Generally - 10mm Standard Gib Board
- Bathroom, Laundry & Kitchen - 10mm Gib Aqualine

FRAMING

Exterior Walls & Internal Load Bearing Walls:
Up to 2.7m

90x45 SGB at 300 c/s H1.2

Interior Non Load Bearing Walls:

Up to 2.7
90x45 SGB at 300 c/s H1.2

- Pre-fabricated framing and truss manufacturer to confirm lintel sizes and provide a producer statement for framing, window lintels and trusses.
- Window openings to be 20mm larger than window sizes (10mm tolerance each side)
- All bottom plates and framing to shower areas to be H1.2.
- Allow to recess exterior plywood bracing panels into framing where direct fix claddings are used.
- Allow for dwangs to fix fittings as required by owner.
- Wall junctions shall be framed up with not less than 2 studs blocked and nailed.
- Maximum diameter hole in 90mm stud to be 25mm or 35mm diameter where not more than 3 consecutive studs are drilled.
- Lintels supporting rafters or trusses shall be secured against uplift as per clause 8.6.1.7 & table 8.14, Figure 8.12, NZS 3604:2011
- Confirm building wrap is able to be used with timber treatment.
- Top Plate Fixing**
The fixing of top plates supporting roof trusses to wall studs or lintels shall be in accordance with table 8.18, NZS 3604:2011

Joints in top plates to comply with clause 8.7.3 & figures 8.14-8.16, NZS 3604:2011
- Bottom Plate Fixing**
Bottom plates of walls shall be fixed to slab-on-ground floors either by cast-in anchors to comply with clause 7.5.12.1 or proprietary post fixed anchors to comply with clause 7.5.12.2

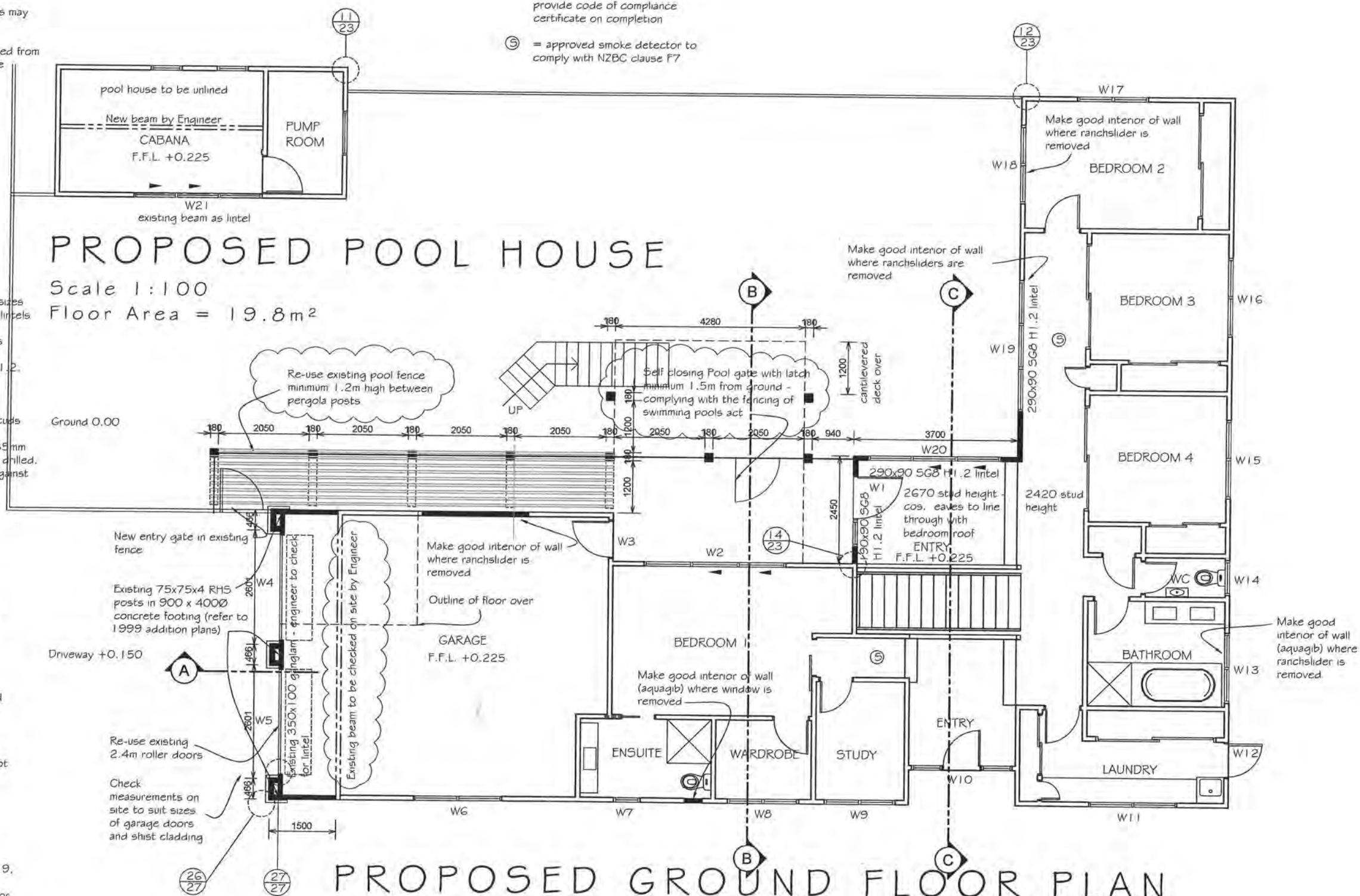
Cast in Anchors
M12 bolts set with 150mm of each end of bent to prevent turning. Anchors shall be set into concrete not less than 90mm and min. 50mm away from edge of concrete.

Proprietary Anchors (Trubolts)
Proprietary anchors set 150mm of each end of the plate and spaced at max. 900mm
- Holes in plates to comply with clause 8.7.5 & figure 8.19, NZS 3604:2011
- Refer to Bracing Plan and Manufacturers specifications for additional framing fixings.

Electrical layout to be confirmed on site

All electrical work to comply with AS/NZS 3000. Electrician to provide code of compliance certificate on completion

Ⓢ = approved smoke detector to comply with NZBC clause F7



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