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SOLD ON KĀPITI
REAL ESTATE

SCALE OF FEES

For the examination of plans and specifications of any building and for the inspection of such building the following fees shall be payable according to the estimated value of the work.

In any dispute as to value, the County Engineer shall have the absolute determination of the value of the proposed work or building.

ESTIMATED VALUE OF WORK					Fees		
					£	s	d
Not exceeding £10					0	5	0
Over £10 and not exceeding £100					0	10	0
" £100	"	"			1	0	0
" £200	"	"			1	10	0
" £300	"	"			2	0	0
" £400	"	"			2	10	0
" £500	"	"			3	0	0
" £600	"	"			3	10	0
" £700	"	"			4	0	0
" £800	"	"			4	10	0
" £900	"	"			5	0	0
" £1,000	"	"			6	0	0
" £1,250	"	"			7	0	0
" £1,500	"	"			8	0	0
" £1,750	"	"			9	0	0
" £2,000	"	"			10	10	0
" £2,500	"	"			12	0	0
" £3,000	"	"			13	10	0
" £3,500	"	"			15	0	0
" £4,000	"	"			16	10	0
" £4,500	"	"			18	0	0
" £5,000	"	"			20	0	0
" £6,000	"	"			22	0	0
" £7,000	"	"			24	0	0
" £8,000	"	"			26	0	0
" £9,000	"	"			28	0	0
" £10,000	"	"			32	0	0
" £12,500	"	"			36	0	0
" £15,000	"	"			40	0	0
" £17,500	"	"			44	0	0
" £20,000	"	"			49	0	0
" £25,000	"	"			54	0	0
" £30,000	"	"			59	0	0
" £35,000	"	"			64	0	0
" £40,000	"	"			69	0	0
" £45,000	"	"			74	0	0
" £50,000	"	"			79	0	0
" £60,000	"	"			84	0	0
" £70,000	"	"			89	0	0
" £80,000	"	"			94	0	0
" £90,000	"	"			99	0	0
Exceeding £100,000					100	0	0

FEEES PAYABLE FOR SPECIAL DUTIES

For inspection required in the case of proposed structural alterations before plans are submitted for approval	0	10	0
For inspecting every detached stove, furnace, oven, close fire or forge erected subsequently to the building	0	5	0
For inspecting old timber before reusing the same in a new building	0	15	0
For any inspection that may be deemed necessary in connection with any building or work in respect of which no fee has otherwise been paid	0	2	6

21/140

Hutt County Council

PERMIT NO. 11265

LOCALITY Raumati Sth.

DATE RECEIVED 11 : 2 : 54.

DATE ISSUED 24 : 2 : 54.

Application For Building Permit

OWNER'S NAME J. Arnold Moller.

FOR OFFICE USE ONLY.

REMARKS: This residence is to be let permanently to a pilot of National Airways (Mr. Fred Adeane) married with four children. off. 1562. 22-2-54.



Note:- For New Dwellings Only 3 PLANS & 2 SPECIFICATIONS REQUIRED

NOTE.-

- 1. Buildings must NOT be erected within Five feet of adjoining properties.
- 2. All Plans and Specifications to be in ink.

Valuation Book No. 1531/140

Date _____, 19____

Application For Building Permit

TO THE BUILDING INSPECTOR,
Hutt County Council,
Bowen Street,
Wellington.

Postal Address: Hutt County Council,
P.O. Box 12,
Government Buildings,
Wellington.

I, the undersigned do hereby apply for a PERMIT to erect BUILDINGS in accordance
with the undermentioned particulars in Kapiti RIDING.

1. Type of Building:

Dwellings etc.; additions
or alterations.

Dwelling**Materials**

(State if new or second hand and where from.)

New**2. Allotment:** Lot: ~~80~~ 81 D.P.: 5853 Section: _____Area: _____ Block: _____ S.D. Locality: Raumati Sth.**3. Owner's Name**J. A. Moller.**Address**Glen Road Raumati South**4. Previous
Owner**

If Section
has been
recently
transferred

5. Frontage (Length)Name of Street or Road: Tiri Moana Road.**6. Estimated Value of Building (excluding Sanitary Fittings)** £ 2465 : - : -**7. Fees** £ 10 : 10 : - : -

See Scale of Fees on Back Page.

No. of Receipt: 5568

All work will be carried out in accordance with Hutt County Council's By-laws.

NOTE:—The following MUST accompany this Application:—

Plans and Specifications in Duplicate, including—

- Ground Plans of Proposed Work showing position of all sanitary fittings and names of various rooms.
- Where the building is on a sloping site the correct height of foundations must be shown.
- Front and Side Elevations.
- Cross section showing framing with bracing.
- Where a building requires Plumbing and Drainage work a Separate Application Form must be filled in and Permit obtained before commencing any such work.
- A Deposit of £2 must be made where building material is taken across a Footpath.

Signature of ApplicantJ. A. Moller

as BUILDER
OWNER.

AddressGlen Road Raumati South.**Builder's Name****and Address**

If not
the
applicant

Plan of Allotment

Showing position of proposed buildings on such allotment.

NOTE—Distances of each building from boundary lines must be clearly indicated.

(Scale: Two feet to a square.)

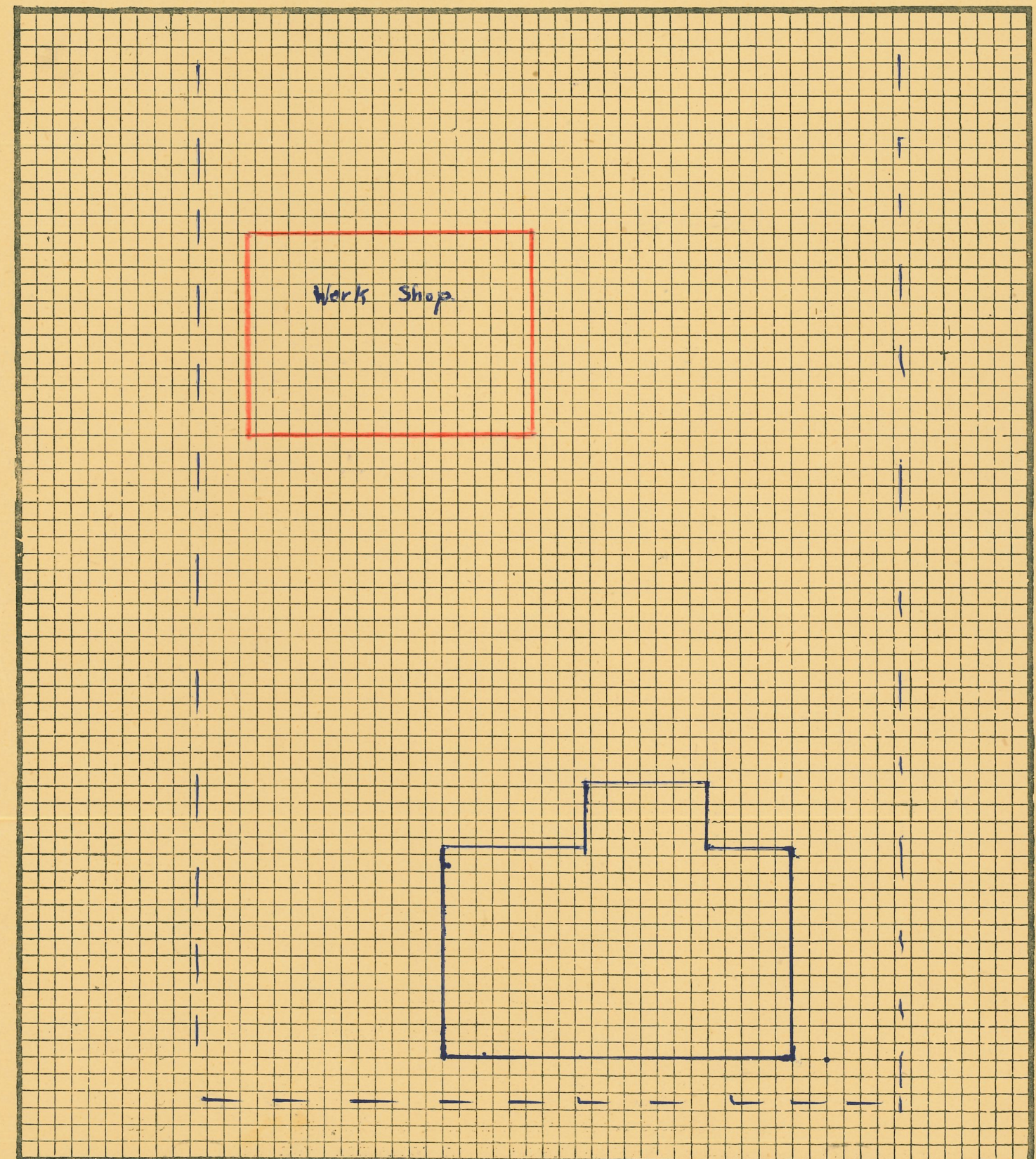
Boundary Lines to be shown thus: — — — — —

BUILDINGS must NOT be ERECTED within FIVE FEET of ADJOINING properties.

Frontage to

Tiri Moana

Road



ALL EXISTING BUILDINGS TO BE SHOWN . RED ON THIS PLAN

FEES NOT TO BE PAID UNTIL REQUESTED BY OFFICE.

Hutt County Council

PERMIT NO. 2440

LOCALITY.....

DATE RECEIVED : : . DATE ISSUED : : .

Application For Plumbing
and Drainage Permit

SCALE OF PERMIT FEES

If the value of each proposed work				£ s. d.		
does not exceed £25	....	....	....	0	5	0
„ £50	....	....	....	0	10	0
„ £100	....	....	....	1	0	0
„ £150	....	....	....	1	10	0
Exceeding £150	....	....	....	2	0	0

OWNER'S NAME J Arnold Moller.....

FOR OFFICE USE ONLY.

REMARKS:

Application For Plumbing and Drainage Permit

To the Drainage and Plumbing Inspector,
Hutt County Council,
Bowen Street,
Wellington.

Postal Address: Hutt County Council,
P.O. Box 8012,
Government Buildings,
Wellington.

I, the undersigned, do hereby apply for a Permit to carry out DRAINAGE and PLUMBING work in accordance with the undermentioned particulars.

Description of Drainage and Plumbing Work

Allotment. Lot: 81 D.P.: 5853 Section: Area:

Block: S.D.: Locality:

Previous { If Section
Owner { has been
recently
transferred }

Frontage (Length) (Name of Street or Road)

Water Supply (Description) Rainwater tank for drinking & bore for other supplies.

Estimated value of Plumbing Work: £ 198 : - : - .

Estimated value of Septic Tank £ 18 : 10 : - .

Estimated value of Drainage Work £ 15 : 10 : - . Total £ 232 : - : - .

All work will be carried out in accordance with Hutt County Council's By-laws.

Permit fees £ 2 : 10 : -
(For Scale of Fees see Back Page.)

Receipt No.: 5569

Name and Address of Owner: J. A. Möller
Glen Road Raumati South.

NOTE:—The following MUST accompany this Application:—

(a) Ground Plan of Building showing all drains, vents, sumps, Septic Tanks and sanitary fittings to be plotted on opposite page.

(b) Detailed Drawings of septic tank— $\frac{1}{4}$ in. to one foot.

(c) Specifications of work and materials to be used.

Plan showing drains should be drawn to a scale of $\frac{1}{8}$ in. to 1 foot for large premises—in DUPLICATE.

Stormwater drains should be shown (if any) in dotted lines.

Signature of applicant J. A. Möller

Address Glen Road Raumati South.

Plumber's Name { If not
and Address { the
applicant }

S. Neal Raumati Beach.

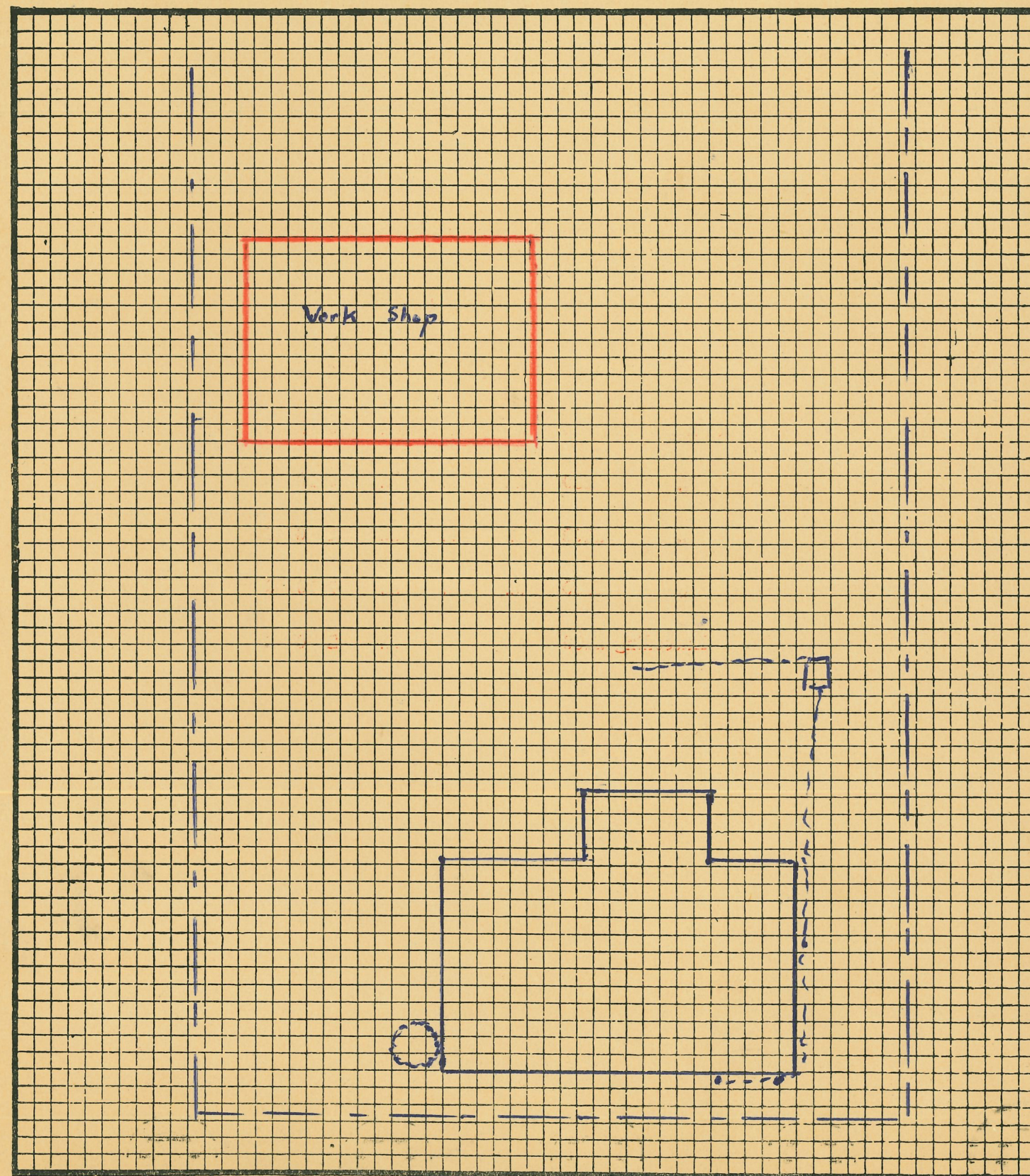
Plan of Allotment

Showing position of proposed buildings, Sanitary fittings, Drains, Gully traps, Inspection pipes and Ventilators; Septic Tanks, Sumps, Irrigation trenches, Sewers and Stormwater drains, if any.

Boundary Lines to be shown thus: - - - - -

WATER SUPPLY: Position to be shown of Well or Bore if within 100 feet.

Frontage to Tiri Moana Road



KAPITI BOROUGH COUNCIL

APPLICATION FOR SEWER CONNECTION AND PERMIT

The Borough Engineer
Private Bag
PARAPARAUMU

I, J. F. Moller (Full name)
42, RENOWN RD PLEASE PRINT
12 Tiromoana Road, Raumati South (Postal Address)

hereby apply for an ordinary connection to the Kapiti Borough Sewer from the premises owned by me at

(PROPERTY Address in full
if different from above)

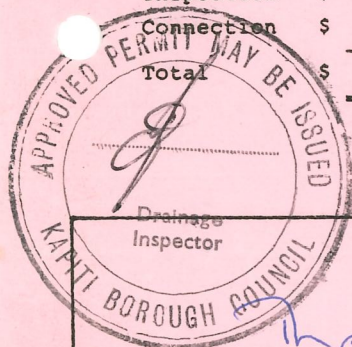
Lot 81 DP 5853 15291-158.00

Fees Payable (on application)

Inspection \$ 30.00
Connection \$ 120.00
Total \$ 150.00

Note: All dwelling units to pay full inspection fees.

The connection fee to be divided equally between dwelling units situated on the same lot sharing a common lateral.



J. F. Moller
Owners Signature

11th March 1983
Date

THIS PART TO BE COMPLETED BY DRAINLAYER

I, Thomas Orr Houston (full name)
138 Arawhata Road Paam (address)

being a licensed Drainlayer apply for permission to connect the premises mentioned above to the Kapiti Borough Sewer.

N.B. Connection NOT permitted until permit obtained.

J. O. Houston
(Signature)

01350
(License No.)

11-3-83
(Date)

OFFICE USE ONLY

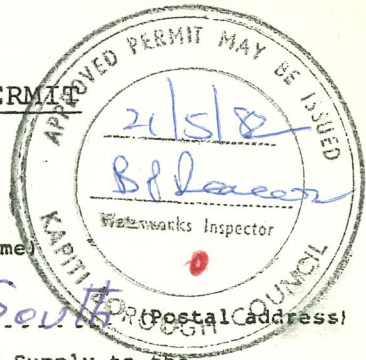
Permit No. <u>2577</u>	Job Inspected <u>11 - 3 - 83</u>
Date Issued <u>11 - 3 - 83</u>	Connection Recorded <u>MARCH 83</u>

Building Register Entry
<u>MAR143 9993 A- 0150.00T</u>

KAPITI BOROUGH COUNCIL

APPLICATION FOR WATER SUPPLY AND CONNECTION PERMIT

The Borough Engineer
Private Bag
PARAPARAUMU



I, MOLLER (JENS ARNOLD) (full name)
PLEASE PRINT
12 Tiromoana Road, Raumati South (Postal Address)

hereby apply for an "ORDINARY" service to be laid from the Kapiti Borough Water Supply to the premises owned by me at:

(PROPERTY Address in full if different from above) 42 Renown Road

Lot 81 DP 5853 15291 158 00

Fees Payable (on application)

Inspection \$ 25.00
Connection \$ 100.00
Total \$ 125.00

Note: All dwelling units to pay full inspection fees.

The connection fee to be divided equally between dwelling units situated on the same lot sharing a common lateral.

J. A. Moller
Owners Signature

6th May 1982
Date

THIS PART TO BE COMPLETED BY PLUMBER

I, Thomas Orr Houston (full name)
of 133 Arawhata Road, Porirua (address)

being a Licensed Craftsman Plumber apply for permission to connect the above premises to the Kapiti Borough Water Supply. I agree to comply in every respect with the Kapiti Borough Water Supply By-laws. N.B. Connection NOT permitted until permit obtained.

T. O. Houston (Signature) 01350 (Craftsman Licence No.) 5-5-82 (Date)

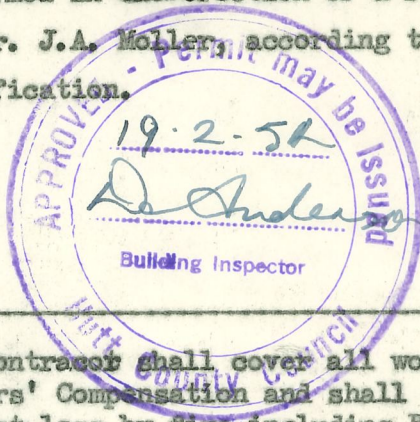
- Existing Water Supply Rainwater To be retained/dismantled
- Pressure: high/low "Header Tank"/Pressure Reducing Valve
- H/W Cylinder Type Electric Exhaust Pipe/Pressure Relief Valve
- Approximate Age of Water Piping 187m Copper/PVC/Alkathene
- If premises have swimming pool what capacity Filter plant Yes/No
- State precisely how it is proposed to make the new connection:

After Pipe to Suit H.P. Main Water

OFFICE USE ONLY

Permit No. <u>42 02</u>	Job Inspected <u>B. L. L. L.</u>	Building Register Entry <u>5/82-28</u>
Date Issued <u>20/5/82</u>	Connection Recored <u>21/5/82</u>	MAY-68 1539 A - 0.125.00 T

SPECIFICATION OF MATERIALS TO BE FURNISHED and work to be performed in the erection of a residence in Tiri Moana Road, Raumati South, for Mr. J.A. Moller, according to the accompanying plans and this Specification.



J.A. MOLLER

Builder and Owner

Phone 186.

INSURANCES:

The Contractor shall cover all workmen by a policy of Insurance for Workers' Compensation and shall insure the building for its full value against loss by fire including Builder's Risk and Public Risk.

EXCAVATIONS:

The excavation required will be carried out by the Owner. The contractor shall excavate for Foundation walls, piles, drains, etc. and afterwards the trenches shall be filled and rammed. The excavations required will be for the garage, water tank, and basement, these to be excavated to the levels on the plan.

NOTICES & PERMITS:

The Contractor is to give all notices to the Hutt County Council that are necessary and is to obtain the building permit and will pay all fees.

CONCRETE WORK.

AGGREGATE:

All aggregate shall be composed of clean, hard well graded, screened, broken stone or shingle and clean sharp sand. The shingle shall be graded from 3/16" to 1" gauge, no stone larger than 1" diameter shall be allowed. Mixed aggregate may be used provided it is well graded and of uniform quality.

CEMENT:

All cement shall be of an approved brand of fresh Portland cement. It shall be brought on to the job as required and stored in a perfectly dry place until used.

BOXING:

All concrete work shall be well and securely boxed.

REINFORCING:

All reinforcing shall be clean, round mild steel of an approved British manufacture, free from defects. All intersections of reinforcing shall be bound with No. 16 annealed wire.

FOUNDATIONS:

Foundations shall be to sizes shown on drawings and in all cases foundations shall be taken down to solid. Foundations shall be reinforced as details with a minimum of three horizontal rods all round building. Exposed faces of foundation wall shall have any honey-combed areas slurred over and the surface prepared for plastering. Allow for building in 12" x 6" cast compo. vents as indicated.

PILES:

Piles shall be of concrete of 8" x 8" sunk to solid ground and at least 18" into the ground. They shall be spaced at 4'6" c.c.s. under sleepers in rows not more than 6' apart. Double loops of No. 6 galvanised wire shall be built in to take sleepers and shall be hooked both ways over sleepers, well stapled and secured.

CHIMNEY:

Shall be of tapering type as shown on plan, with reinforced concrete with foundation pad measuring 5' x 4' x 8" thick reinforced with 1/2" rods at 9" c.c. both ways. Walls of chimney shall be 6" thick and reinforced with 4 - 1/2" rods at four corners and 3/8" rods at 12" c.c. both ways, with 1/2" at top.

FIREPLACE:

Shall have a tiled slab to detail.

PLASTERER.

GENERAL:

The whole of the exposed surfaces of the building and foundation walls, together with chimney, shall be rendered with 3 to 1 sand and waterproof cement and finished with a textured finish of a selected colour to a finished thickness of not less than 3/4"; it shall be two coat work. (Include for steps and porch).

EXTERIOR WALLS:

To be covered with 2 ply malthoid securely fixed with galvanised clouts, this in turn to be covered with a good strong wire netting left ready for plastering.

STEPS:

Form concrete steps to front and rear entrances as detailed with slight fall to front edge.

CARPENTER & JOINER.

SCANTLINGS:

Studs	4" x 2" at 18" c.c.
Plates	4" x 2"
Floor Joists	5" x 2" at 18" c.c.
Sleepers	4" x 3"

B.A.C.

"

HT.

Ht. Rimu.

Ceiling Joists
Sarking

8" x 1½" at 18" c.c.
6 x 1

B.A.C.
Pinus.

- EAVES:** Shall be constructed as follows projecting 17", line underside with 3/16" Pinex Hardboard sheed fixed with galvd. clouts and joints battened. Finish under fascia with 1½" quarter round and wall intersection with 1½" scotia mould. Fascia to form front of water gully.
- DWANGS:** All walls and partitions shall have 3 rows of 2" dwangs tightly cut between studs to take wallboard and lining and ceilings shall have similar dwangs not exceeding 3 ft. c.c. to take ceiling linings. Dwangs of 8" x 1" shall be provided in bathroom and kitchen where directed to take towel rails and other fittings.
- FLOORING:** To all rooms shall be 4" x 1" T. & G. Ht. Rimu well cramped up and double nailed at all intersections with butts well scattered. All flooring shall be closely fitted to studs and plates, etc. to prevent draught and to make the whole job vermin proof. Flooring shall be double machine sanded and left with a clean even surface free from marks.
- INTERIOR LININGS:** To all rooms shall be Gibraltar Board, for walls and ceilings. Finish corners with 1½" scotia mould throughout.
- ARCHITRAVES:** To all windows and door opening shall be cut out of 2½" x 1" with plain rounded edges and mitred at angles, architraves shall have splay inside face.
- SKIRTING:** To all rooms throughout shall be out of 3" x 1" plain rounded bevelled and neatly scribed to floor.
- SILL BOARDS:** Shall be 1" thick with as little projection as possible with rounded arrises and have an apron piece of 1½" scotia mould under, returned at ends.
- KITCHEN CUPBOARDS:** Shall be as detailed with lino. top sink bench, to the owners choice and colour.
- BATHROOM CUPBOARDS:** Shall have front enclosed and lined and finished with skirting and scribed beads. Top of bath shall have 6" x 1" skirting to back and two ends neatly scribed to bath and set in "Hydroseal."
- DOOR FRAMES:** Exterior door frames shall be Ht. Totara, with 8" x 2" sills. All other frames shall have 1½" solid rebated jambs linings to suit wall thicknesses. All frames shall be securely fixed with blocks to studs.
- DOORS:** All doors shall be as shown. All doors shall have 3 hinges. Exterior doors shall have 4" cast or galvd. butts and galvd. screws. Interior doors 3" loose pin steel butts. Interior doors including doors to wardrobes and cupboards shall be flush ply-wood faced doors of approved type.
- LOCKS & FURNITURE:** The purchase of locks, furniture, etc. for all doors, cupboards, pulls, catches for cupboards, drawers etc., coat hooks, towel rails, paper holders, doors stops, window fasteners, stays shall be selected by the Owner and fixed completed by the Contractor.
- WINDOWS:** All windows shall be casement type and shall have Ht. Totara frames with jambs and head of 2" and sills out of 2½", width to suit wall thickness, mullions out of 4" x 3". Sills shall be with horns. Sills shall be sunk, throated and plough grooved. All sashes shall be out of 2" well seasoned Ht. Totara. All fanlights shall be formed with rebated and throated split bar and shall be hung on two 3" galvd. butts. All fanlights shall be fitted with wood weatherstrips inside, and outside shall have galvd. iron weatherstrips and brass screws. All frames shall be primed or oiled before fixing and shall be securely fixed in openings with blocks to studs etc., All sashes shall be primed before glazing and shall be plough grooved all round. Stays and fasteners shall be fixed as directed by the owner.
- GLASS:** All sheet glass used shall be best quality. Glass shall be bedded, bradded and painted in good oil putty. All rebates shall be primed before glazing.
- ROOF:** To be covered with foreign galvanised corrugated iron or Aluminium laps to be painted before fixing. All sheets to be securely nailed with Auto lead head nails.
- SUPPLY TANK STAND AT REAR:** Shall be two sizes shown with 4" x 3" studs and 5" x 2" joists. Top shall be decked with 2" stuff and covered with 2 layers of 2 ply Malthoid tacked down. Tanks 2 - 600 Gallons.

PLUMBER.

- ALL PLUMBING:** Shall be carried out in strict accordance with By-Laws. All pipes etc., shall be set out as directed and to approval, shall be concealed in wall space as far as possible. Where it is necessary to expose pipe it shall be

neatly arranged. The Plumbing Contractor shall take out all necessary permits for his portion of the work and shall pay all fees in connection therewith.

FLASHING:

Pipes, etc. through roof, including chimney, shall be 4 lbs., lead properly fixed and dressed over roof flashings at heades, sides and trays to all windows opening, and wherever else necessary to make the whole of the work absolutely watertight shall be 24 gauge iron.

VENTS:

Shall be fixed to drains and sanitary fittings as required by the By-Laws.

FITTINGS:

The P.C. Sum of Twenty Two pounds (£22) shall be allowed to be spent on the following fittings:- 5'6" recessed bath, basin, w.c. and seat. Fittings shall be selected by the Owner and shall be fitted up complete where shown and Contractor shall supply and accessories that are not usually supplied with the fittings.

WASTES:

To sink, bath and tubs shall be 1½" and to basin 1¼" in drawn lead or galvd. wrought iron pies with necessary flanges, traps, vents, etc. and delivering over gully traps.

W.C.:

Shall be white pedestal pattern fitted up complete where shown and connected up to cister and to drain. Cistern shall be siphonic Ballringer's or similar low down pattern made of copper and complete with stop and ball cock and overflow etc., all enclosed in wood case set below sill board.

HOT WATER CYLINDER:

Shall be 30 gallon capacity Mercer type, corrugated copper fully insulated with an approved insulation 2" thick round sides and 4" on top all enclosed in a galvd. sheet iron container. It shall be fitted where shown. Expansion pipe shall be taken through roof and service shall run through ¾" copper pipes to bath and ½" to basin, two tubs, copper and sink. All service pipes shall be insulated with heavy felt wired on. Cylinder shall be fitted with 1000 watt element and thermostat to be supplied by Electrician. Cylinder shall be fixed in linen cupboard in kitchen set down at floor level.

WATER:

Shall be laid on from two 600 gallon tanks at rear in ¾" screwed galvd. iron pipes to hot water service and bath end in ½" branches to one standpipe at front, sink w.c. cistern and basin.

COPPER PIPES:

All copper pipes to hot water service shall be 19 gauge hard drawn copper tube run to service points in the most direct and shortest manner. All connections shall be approved metal to metal fittings or may be silfossed. Tap unions shall be proper winged elbows securely fixed to walls.

DRAINAGE:

All drains shall be jointed in cement mortar and in accordance with the By-Laws; soil drain shall be taken to Septic tank and rear of house as shown.

SEPTIC TANK:

To be installed complete by Contractor with all necessary vents, etc., and run into boulder trench approx 25' long as shown, or soak pit constructed with hit and miss hollowstone blocks.

SINK BENCH:

Supply and fix lino top sink-bench as shown on plan.

PAINTER.**MATERIALS:**

All priming and undercoating, finishing paints and enamels etc. shall be the highest grade as manufactured by approved New Zealand manufacture and shall be used only as directed by the manufacturer and without adulteration.

ALL WORK:

Shall be done in suitable weather and under free conditions with rooms swept clean and any work damaged by dust, rain, dew or frost shall be made good.

EXTERIOR WORK:

All windows, including sashes, frames and sills together with doors eaves, soffits, fascia and spouting shall be primed and painted with two coats. Stopping shall consist of good oil putty after priming coat. Cast iron pipes shall be sealed before puttying.

SIZING:

All Fibrous plaster or other linings shall be properly sealed before painting and papering, all exposed nails in Fibrous Plaster in centre of sheet shall be stopped with plaster of Paris and rubbed down perfectly smooth.

STOPPING:

All work both interior and exterior shall be stopped with good oil putty on priming coat. Cast iron pipes shall be sealed before painting.

INTERIOR WORK:

Living Room	}	Walls papered, ceilings sealed, and given 2 coats of matt finish oil bound distemper.
Bedroom 1 & 2		
Hall. Include for wardrobe & cupboards.	}	All Woodwork stained and two coats spirit varnish.

Kitchen, Bathroom } Walls and ceilings sealed one coat paint and
and Laundry. } finishing coat of enamel.

PAPERING: All papers shall be selected by the Owner to the average value of 8/- per roll. All properly shaded matched and butt jointed. All paste shall have a fungicide admixture.

CLEANING: All glass, floors, paper etc., shall be perfectly clean on completion and all glass shall be cleaned both sides.

ELECTRICIAN.

ALL WORK: Shall be carried out in complete accordance with the latest P.W.D. Electrical Wiring Regulations and to approval of the inspectors. All points and switches shall be according to schedule and as shown on the Drawing W.I. and the exact position shall be to approval. All fittings shall be of British Manufacture and to B.E.S.A. Specifications.

MAIN & BOARDS: The main switchboard shall be placed in Hall and shall be of sufficient size to contain all necessary meters, fuses, switches, etc. All fuses and circuits shall be neatly labelled to approval. Mains shall be connected to the Power Board mains and proper entrances boxes shall be provided.

CABLE: All cable shall be of British Manufacture C.M.A. Standard, All Cable for heating plugs shall be not less than 3/306 and for lighting points not less than 1/044.

CONDUIT: Shall be wood casing and capping and shall be run concealed.

HOT WATER SERVICE: A 25 gallon Mercer type water heater shall be supplied by Plumber and shall be fitted with a 1000 watt element., and thermostat wired up with all necessary switches, etc. and left in complete working order for day and night services. (Electrician to supply element and thermostat.)

COOKER (ELECTRIC): Allow the P.C. Sum of £40 (forty pounds) to be spent on the purchase of an electric cooker to be supplied complete by the Contractor and selected by the Owner. Contractor is to take delivery of same.

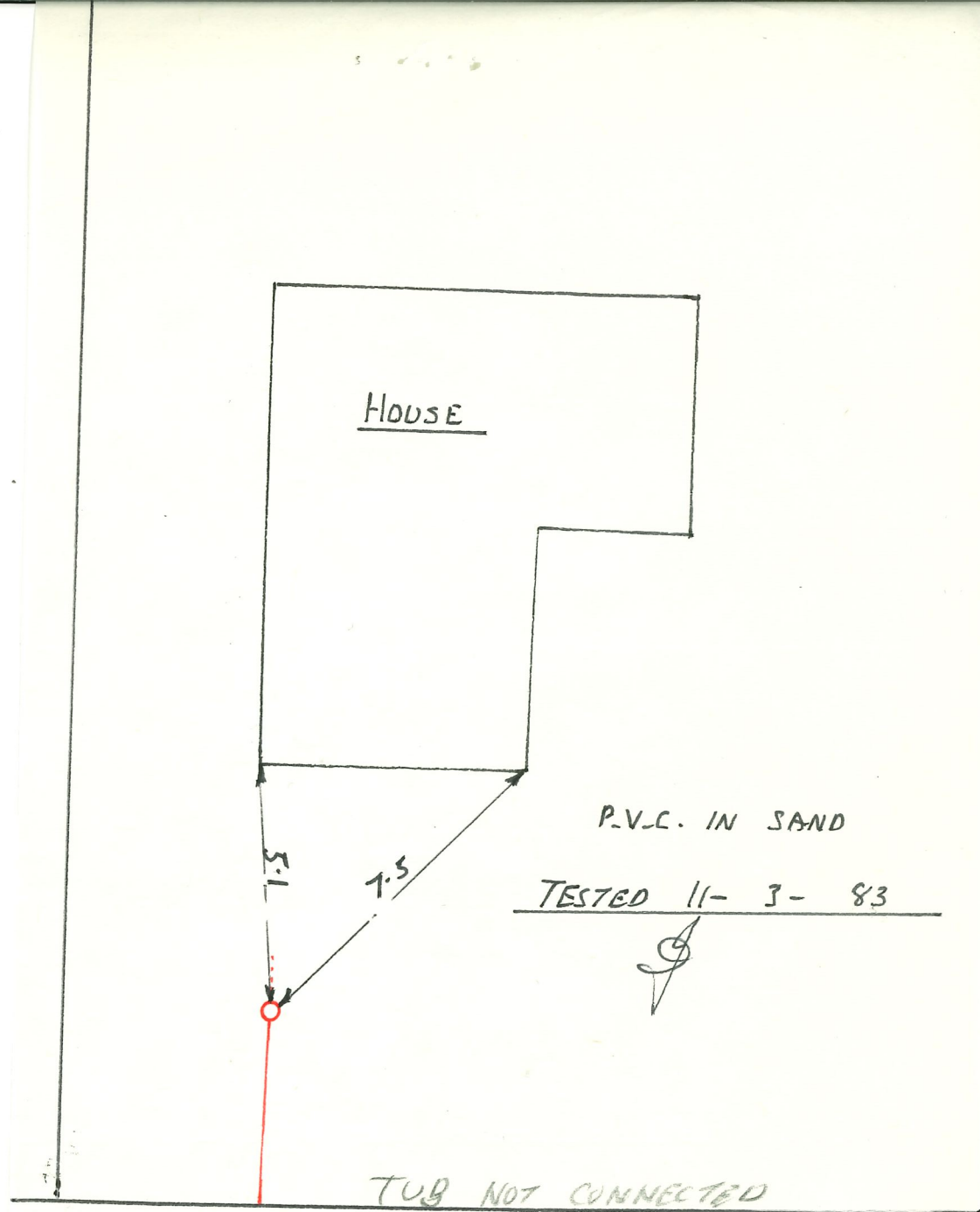
COOKER CONNECTIONS: Shall have iron clad switch and shall be fixed and connected up complete. Contractor shall be responsible for cooker from time of delivery.

LAMPS: All lamps shall be best quality 240 volt.

REMOVING RUBBISH: At completion of the work or at any time the Owner shall direct, the General Contractor shall remove from the building all and any rubbish and all scaffolding apparatus etc., not required. He shall wash all windows, remove all stains, mortar and paint marks, sweep all floors and prepare the building in every respect for immediate occupancy.

At all times the building shall be kept broom clean.

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12 TIROMOANA RD

T HOUSTON

LAND INFORMATION MEMORANDUM

DATA COLLECTION FORM

Property Address (Number and street)
 Legal Description (Lot and DP number)
 (Section/Town/SD)

42. Remond Rd.
Lot 81, DP 5853.

Valuation Role Reference
 Zoning (Zone Name)
 Planning Consent (Yes, file number)

Building Restrictions
 Coastal A. Building Restriction Line
 B. Relocatable Zone
 Height A. Aerodrome
 B. Other
 Flood Risk/Other

Building Platform (Yes/No/Uncertain)

Easements (Yes/None Known)
 Public Drain (Yes/No)
 Common Private Drain (Yes/-)
 Public Utility (Yes/No)
 Sewer Available (Yes/No)
 Sewer Connected (Yes/No)
 Water Available (Yes/No)
 Water Connected (Yes/No)
 Natural Gas Available (Yes/No)
 Natural Gas Connected (Yes/No)
 Electricity Available (Yes/No)
 Electricity Connected (Yes/No)

Yes
No
Yes
Yes

EXISTING

BUILDINGS Date Permit Issued Type Area

1. 19/1/09 5764 Workshop/Storeroom
2. 24/2/54 11265 Dwelling
3. _____
4. _____
5. _____
6. _____

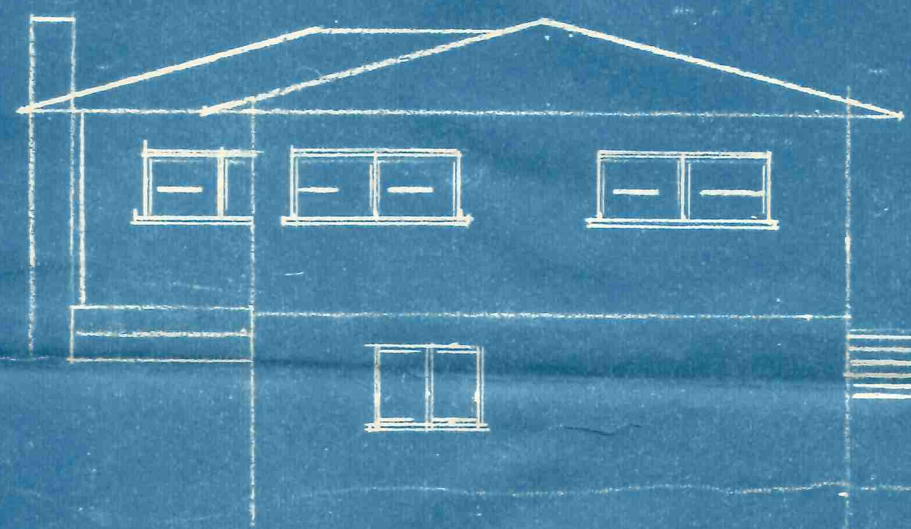
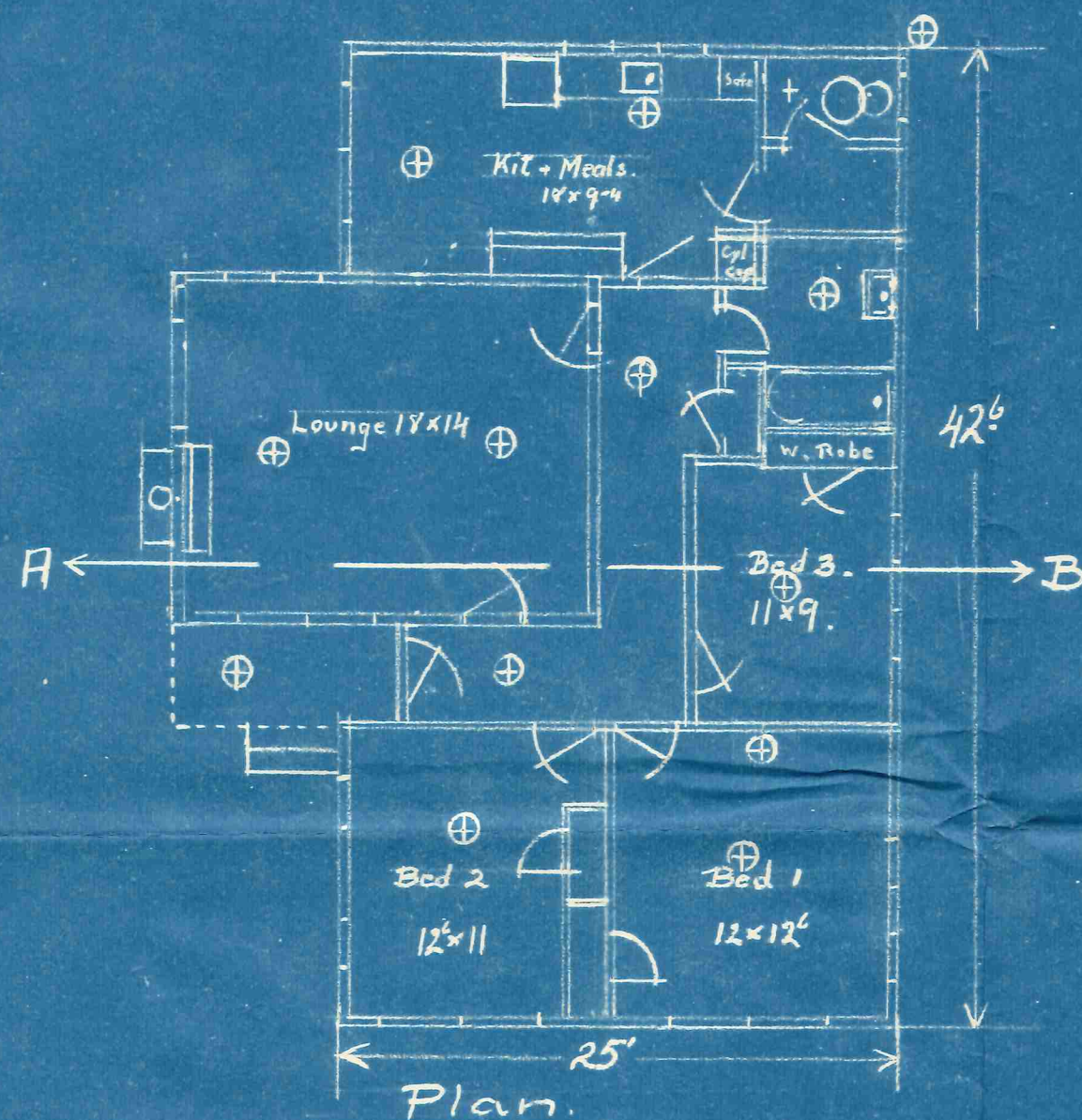
DISPENSATION GRANTED

SPECIAL FACTORS

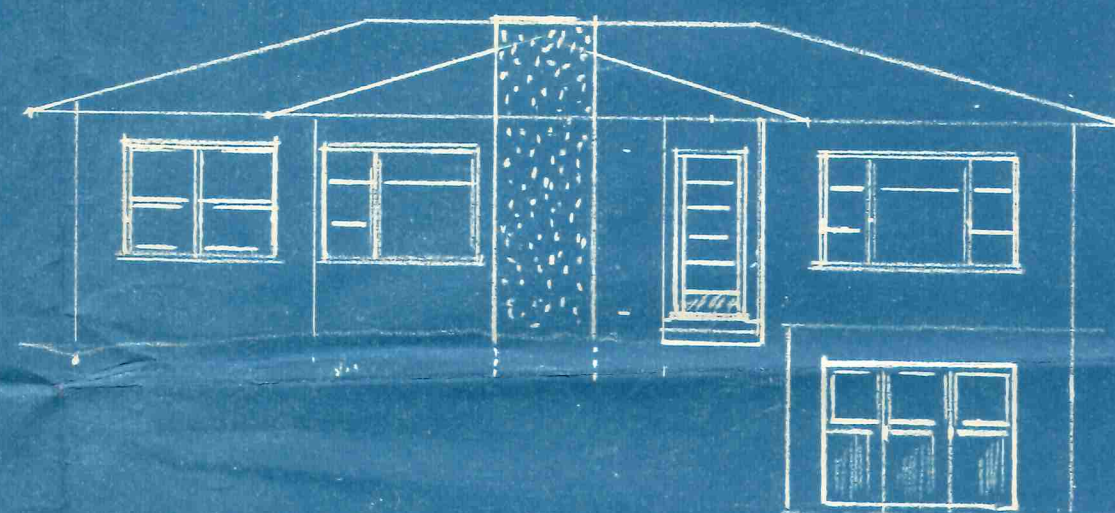
Proposed Residence for J. A. Moller esq.

Tiri-Moana Road Raumati South

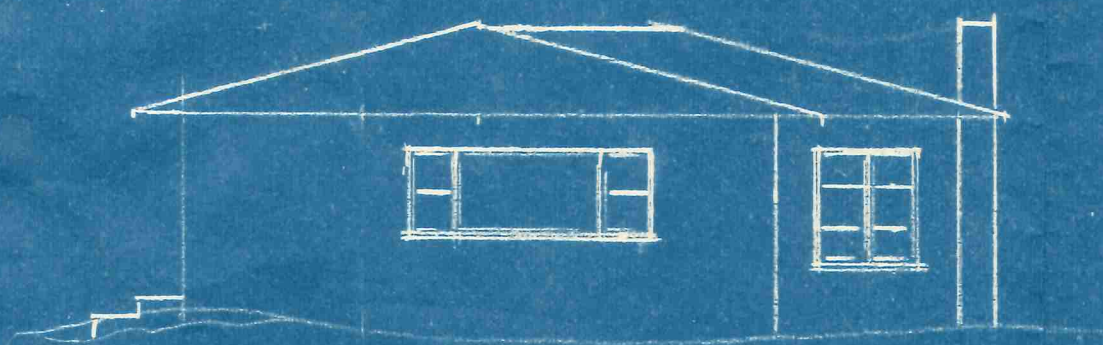
5th Feb 1954.



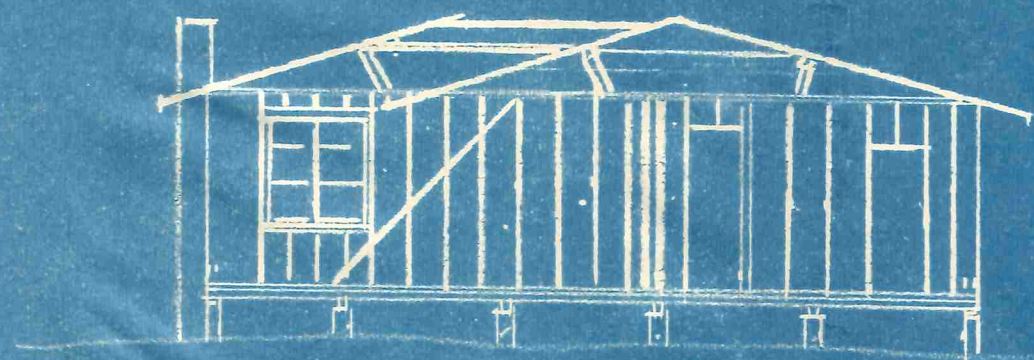
South Elevation



West Elevation.



Front Elevation



Section A-B

Scale 1/4 in to 1 foot.