



Application Details

Applicant: Mint Realty
Client Reference: TK Family Trust
Phone Number: 021 980545
LIM Number: LIM20260590
Application Date: 09/09/2026
Issue Date: 17/09/2026

Property Information

Property Address: 15 Tauroa Valley
HAVELOCK NORTH 4130
Legal Description: LOT 20 DP 410351 RT 438232
Area (hectares): 1.1835 Hectares

Valuation Information

Valuation Number: 1050038960
Valuation Details: Capital Value: \$4,440,000.00
Land Value: \$1,220,000.00
Improvements Value: \$3,220,000.00

Note: These values are intended for rating purposes

Document information

This Land Information Memorandum (LIM) has been prepared for the applicant for the purpose of sections 44A to 44D of the Local Government Official Information and Meetings Act 1987 (LGOIMA).

It is a summary of the information that we hold in relation to the property that is required by LGOIMA to be included on LIMs or that Hastings District Council (Council or HDC), at its discretion, considers appropriate to include on a LIM. Each heading or "clause" in this LIM corresponds to a part of sections 44A to 44B of LGOIMA.

Sections 1 to 8 of this LIM contain all information known to the Council that must be included under sections 44A(2) and 44B of LGOIMA. Any other information concerning the land that the Council considers, at its discretion, to be relevant is included pursuant to s 44A(3) of LGOIMA at section 9 of this LIM. If there are no comments or information provided in these sections, this means that the Council does not hold information on the property that corresponds to that part of sections 44A or 44B.

The information included in this LIM is based on a search of Council records only and there may be other information relating to the land which is held by the Council that is not required to be included (this additional information may be contained on the property file) or information unknown to the Council.

Please note that other agencies may also hold information relevant to the property or administer legislation relevant to the use of the land, the Hawke's Bay Regional Council (HBRC), Heritage New Zealand Pouhere Taonga, the Department of Conservation (DOC), Kainga Ora – Homes and Communities, Waka Kotahi (NZ Transport Agency), New Zealand Archaeological Association (NZAA) and Toitū Te Whenua – Land Information New Zealand (LINZ). Electricity network operators (including Transpower and local lines companies) may hold information relevant to the presence of high-voltage overhead powerlines or associated infrastructure. In addition, the applicant should check the Record of Title for the property as it may contain additional obligations relating to the land.

The Council has not carried out an inspection of the land and/or buildings for the purpose of preparing this LIM, and our records may not show illegal or unauthorised building or works on the property. The applicant is solely responsible for ensuring that the land is suitable for a particular purpose.

The Council does not provide interpretation or advice on how to interpret or use information contained in this LIM. If this is required, the applicant should seek appropriate and independent professional advice.

A LIM is only valid at the date of issue as information is based only upon information the Council held at the time of that LIM request being made.

The text and attachments of this LIM should be considered together.

Property file service and enquiries

This LIM does not contain all information held on a property file. Customers may request property files and make enquiries by contacting the Council's Customer Service Team on (06) 871 5000 or customerservice@hdc.govt.nz.

To enable the Council to measure the accuracy of this LIM based on our current records, we ask that you advise us if you find, or are aware of, any information which you consider to be incorrect or missing.
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1. NATURAL HAZARDS

Section 44A(2)(a) and section 44B of LGOIMA. This section contains information about natural hazards.



For enquiries, please contact the Council.

Note - The Council is aware that there may be additional information relating to potential hazards on the CDEMG Hazard Information Portal at www.hbemergency.govt.nz/hazards/hazards-in-hawkes-bay/.

Note - Future of Severely Affected Land (FOSAL) - Following Cyclone Gabrielle, the Government established land categories for land in Hawke's Bay to determine the future severe weather risk within the region. Contact HBRC if information about historical FOSAL risk categories is required.

Note - If part of this site is identified as being within a potential hazard area, sections 71 - 74 of the Building Act 2004 may apply if consent is sought to undertake building work on the property. We recommend that you seek advice on the potential application and effect of those sections of the Act.

Note - The Natural Hazards Commission Toka Tū Ake's Natural Hazards Portal contains information relating to past settled Natural Hazards Commission claims relating to land and/or buildings for earthquake, landslide, storm or flood, tsunami, volcanic eruptions and hydrothermal activity. The Portal may contain information relevant to this property, and the Council recommends that you visit the Portal and review the information relevant to this property and the surrounding area. The Portal can be accessed at www.naturalhazardsportal.govt.nz/s.

a) Natural hazard information sourced from the Operative Hastings District Plan

i) Liquefaction

This property is located within an area mapped in a regional liquefaction assessment report for potential liquefaction susceptibility.

The **attached** map from the Operative District Plan identifies the susceptibility classification.

Note: Further information regarding the impact of the liquefaction can be found at eplan.hdc.govt.nz/eplan, including in Chapter 15.1 Natural Hazards and Appendix 57 - Figure 2. You are advised to review the entire plan and seek independent advice about the impact of the identified hazard on the property. A copy of the District Plan map showing the hazard that affects the property can also be found at <https://eplan.hdc.govt.nz/eplan>, by entering the property address.

Note: If multiple liquefaction-related hazard sources are included within this LIM, the most specific and up-to-date natural hazard information relating to the land is contained within the "All other natural hazard information relating to the land" section.

Relevant information - Report

Name of the person or entity that commissioned the report:	Hawke's Bay Regional Council.
The purpose of the report:	The objective of this study is to evaluate the hazard of liquefaction-induced ground damage during strong earthquake shaking in the Hawke's Bay Region.
The scope of the report:	Hawke's Bay Region.
Where or how to access the report:	Available on request.
The title of the report:	Earthquake Hazard Analysis Program: Stage II: Part II – Evaluation of Liquefaction Potential in the Hawke's Bay Region, Client Report 1999/6, Job Number 33591.D
The date of the report:	March 1999.
The name of the person or entity that prepared the report:	G.D. Dellow, J.V. Hengesh, D.Heron, L.Brown and A.G. Hull of GNS, Institute of Geological and Nuclear Sciences.

ii) Earthquake ground shaking

The **attached** amplification/ground shaking map shows areas potentially susceptible to ground shaking amplification in an earthquake according to the following report.

The mapping identifies a scale of relative earthquake amplification site classes ranging from 1 (low) to 4 (high), refer to the **attached** map for the applicable site class.

The susceptibility of areas within the [District](#) to ground shaking amplification are identified in [Appendix 57](#) - Figure 1 of the Hastings District Plan.

Note: Further information regarding the impact of the ground shaking amplification can be found at eplan.hdc.govt.nz/eplan, including in Chapter 15.1 Natural Hazards and Appendix 57 - Figure 1. You are advised to review the entire plan and seek independent advice about the impact of the identified hazard on the property. A copy of the District Plan map showing the hazard that affects the property can also be found at eplan.hdc.govt.nz/eplan, by entering the property address.

Relevant information - Report

Name of the person or entity that commissioned the report:	Hawke's Bay Regional Council.
The purpose of the report:	The objective of this study was to: • Compile existing data to develop maps of soil profile types which may cause amplification of strong ground motions; and • Develop ground shaking amplification factors for soil-type map units in the region.
The scope of the report:	Hawke's Bay Region.
Where or how to access the report:	4727 AM15-05 HBRC Earthquake Hazard Analysis Program Stage 3 Evaluation of Groundshaking Amplification Potential VOL 1.pdf
The title of the report:	Hawke's Bay Regional Council Earthquake Hazard Analysis Program: Stage III – Evaluation of Ground Shaking Amplification Potential, HBRC Report No. AM15-05, HBRC Plan No. 4727.
The date of the report:	June 1998.
The name of the person or entity that prepared the report:	J.V. Hengesh, G.D. Dellow, D.W. Heron, G.H. McVerry and W.R. Stephenson of GNS, Institute of Geological and Nuclear Sciences.

b) Natural hazard information relating to the Building Act 2004

i) Natural hazards notices (section 73 of the Building Act 2004, section 36(2) of the Building Act 1991) or section 641A of the Local Government Act 1974)

No information known to the Council.

ii) Notices or signs under section 133BT of the Building Act 2004

No information known to the Council.

c) All other natural hazard information relating to the land

i) Seismic hazards (including liquefaction)

Liquefaction

The Council holds information on liquefaction risk in the district, contained in an October 2017 report for the Hawke's Bay Regional Council by GNS Science.

According to the report, this property is located within an area indicated as Liquefaction Unlikely (very low to low liquefaction vulnerability).

Relevant information - Report

Name of the person or entity that commissioned the report	Hawke's Bay Regional Council.
Purpose of the report	Re-evaluate the liquefaction hazard across the region as described in Dellow et al (1999) and to evaluate the consequential risk posed by liquefaction.
Scope of the report	Napier City and Hastings District Council parts of the Heretaunga Plains, Central Hawke's Bay and Wairoa.
Where or how to access the report	www.hbemergency.govt.nz/assets/Research-Reports-and-Hazard-Info-Portal/CR-2015-186.pdf
Title of the report	Assessment of liquefaction risk in the Hawke's Bay Volume 1: The liquefaction hazard model & Assessment of liquefaction risk in the Hawke's Bay Volume 2: Appendices for Volume 1.
Date of the report	October 2017.
Name of the person or entity that prepared the report	Institute of Geological and Nuclear Sciences Limited (GNS Science).

ii) Tsunami risk

No information known to the Council.

iii) Erosion

No information known to the Council.

iii) Landslide

No information known to the Council.

iv) Subsidence

No information known to the Council.

v) Flood hazards

No information known to the Council

vi) Wind, drought, and/or fire

No information known to the Council about natural hazards related to wind, drought or fire.

vii) Volcanic and geothermal activity

No information known to the Council about natural hazards related to volcanic and geothermal activity.

2. OTHER SPECIAL FEATURES AND CHARACTERISTICS OF THE LAND

Section 44A(2)(aa) of LGOIMA. This is information about other special features or characteristics of the land that are known to the Council but that are not apparent from a district plan under the Resource Management Act 1991. It includes information about the likely presence of hazardous contaminants (if any).



For enquiries, please contact the Council.

This information should not be regarded as a full analysis of the site features of this land as there may be features that the Council is unaware, and and therefore has no knowledge of. The applicant is solely responsible for ensuring that the land is suitable for a particular purpose, including development.

a) Site contamination

No site contamination data is identified in the Council's records.

b) Soil

No information known to the Council.

c) Any other special features or characteristics

No information known to the Council.

3. THREE WATERS



For enquiries, please contact the Council.

Council's 3 Waters mapping is updated periodically and may not always reflect the most recent connection information. As such, there may be instances where connections are not shown or are shown inaccurately. Please contact Council to confirm connection details.

a) Private and public stormwater and sewerage drains

Section 44A(2)(b) of LGOIMA. This section includes information about private and public stormwater and sewerage drains and sewer and water services as shown in the Council's records.

A copy of the Council's records relating to services to the property are **attached**. The Council recommends that the applicant also obtains and reviews the record of title and deposited plan for the property to verify the existence or absence of easements.

i) Stormwater

The property is not shown connected to the Council's reticulated stormwater system.

Please note there may be a kerb and channel connection, however, the Council does not currently hold this information. Please contact the Council's waters team if you wish to undertake an asset verification inspection (there will be an additional charge for this service).

ii) Sewerage

This property is connected to Council's reticulated sewerage system.

iii) Private drain

The Council does not currently have any information that there is a private drain located on this property.

b) Drinking water supply

Section 44A(2)(bb) of LGOIMA. This section includes information notified to the Council about whether the land is supplied with drinking water, whether the supplier is the owner of the land or a networked supplier, any conditions that are applicable, and any information the Council has about the supply.

i) Water supply

The property is supplied with drinking water from the Council's reticulated network. There are no conditions relating to the provision of drinking water.

ii) Exemption notified by Taumata Arowai under the Water Services Act 2021

No such exemptions are known to the Council.

4. RATES AND LEVIES

Sections 44A(2)(c), (ca) and (cb) of LGOIMA. This section includes information on any rates owing in relation to the land.



For enquiries, please contact the Council.

Government valuation

Land	\$1,220,000.00
Improvements	\$3,220,000.00
Capital Value	\$4,440,000.00

[1 July 2026]

Annual rates

Current Rates Year	2026 to 2027
Annual Rates	Rates 2026/27 \$7,295.10
Instalment Amount	\$1,823.80
Current Year – Outstanding Rates	\$5,471.30
Arrears for Previous Years	\$0.00
Next Instalment Due	20 November 2026
Note: Rates are charged in four equal instalments for the period commencing 1 July and ending 30 June each year.	

Water charges/metering

Water is Metered	Yes
WT	\$1.24
Allowance	365 Cubic Metres Allowable Per Year ¹
Usage last year	518 Cubic Meters
Usage year to date	No further information has been located by the Council
Last reading	19859
Outstanding Balance	\$0.00

Targeted rates

The land concerned is not located in a project area that is subject to a targeted rates order under the Urban Development Act 2020.

Note – The information above relates to rates levied on the property by Hastings District Council and does not include information on rates levied separately for this property by Hawke's Bay Regional Council.

¹ Included in rates. Any takes beyond this will incur additional charges.

5. BUILDING CONSENTS



For enquiries, please contact the Council.

a) Consents, certificates, notices, orders, or requisitions affecting the land and buildings

Section 44A(2)(d) of LGOIMA. This section contains information concerning any consent, certificate, notice, order, or requisition, affecting the land or any building on the land, previously issued by the Council (whether under the Building Act 1991, the Building Act 2004, or any other Act).

The information in this section may also cover building consent and/or code compliance information issued by building certifiers under the Building Act 1991 and building consent authorities that are not the Council under the Building Act 2004.

Please note that prior to the Building Act 1991, councils were not required to maintain full records of building permits issued under the earlier building legislation and code compliance certificates did not exist. While the Council has always endeavoured to maintain full records of pre-Building Act 1991 matters, not all records for this period have survived and in other cases where building work is documented, information may be incomplete. The Council does not accept responsibility for any omission.

Some of the Council's historic permit records are stored under the name of the applicant rather than under the property address. Where necessary the Council has used information from a title search to endeavour to find the relevant record/s. However, the fact that a permit has not been located for a building does not necessarily mean that a permit was not granted.

It is recommended that the Council property file is viewed and compared with the actual building and activities on site to identify any illegal or unauthorised building works or activities.

If the land is part of a cross-lease title or unit title, consents and permits for the other flats or units may be included in this LIM. If the land has been subdivided there may be consents and permits included that relate to the original property.

i) Building consents / permits, code compliance certificates, certificates of acceptance and discretionary exemptions

Consent	Date granted	Description	CCC date	Plans attached
ABA20091532	18/02/2010	Erect New Dwelling	08/09/2011	Yes
ABA20110103	17/02/2011	Install Swimming Pool & Landscaping	24/04/2013	Yes
ABA20171410	21/11/2017	Alterations to Dwelling - Enclose Patio.	05/07/2018	Yes

If there are any building consents issued for this property, the Council recommends that you check those consents on the property file for full details.

ii) Certificates (current), including section 37 certificates and certificates for public use

There are no current certificates on the Council's files.

iii) Notices (current), including infringement notices, notices to fix, dangerous, affected or insanitary buildings, and earthquake prone notices

There are no current notices on the Council's files.

iv) Compliance schedules and building warrants of fitness

The Council has no record of a compliance schedule for any building on this property. If it is evident that any specified systems such as lifts or commercial fire alarms are present in the building, the owner must ensure there is a current compliance schedule and building warrant of fitness.

v) Orders

There are no orders on the Council's files.

vi) Requisitions

There are no requisitions on the Council's files.

vii) Residential pools and barriers

There is a known swimming pool or spa pool at this property. All swimming pools and spa pools must have a barrier that complies with the Building Act 2004. The following table identifies any failed inspections and/or known issues with the pool barrier. Copies of the inspection records can be requested.

Inspection date	Reason for failure/issue identified
N/A	N/A

b)Information relating to non-consented small stand-alone dwellings:

Section 44A(2)(daa) of LGOIMA. This section includes information relating to non-consented small stand-alone dwellings.

There are no applications for project information memorandum for building work in connection with a non-consented small stand-alone dwelling on the Council's files.

c)Information provided under section 362T(2) of the Building Act 2004

Section 44A(2)(da) of LGOIMA. This section includes information required to be provided to a territorial authority on completion of residential building work under section 362T(2) of the Building Act 2004.

There is currently no information required to be provided by a building contractor to a territorial authority under section 362T(2) of the Building Act 2004. The Building (Residential Consumer Rights and Remedies) Regulations 2014 only prescribe the information that must be given to the clients of a building contractor.

d)Certificates issued by a building certifier

Section 44A(2)(e) of LGOIMA. This section includes information notified to the Council concerning any certificate issued by a building certifier pursuant to the Building Act 1991 or the Building Act 2004.

There are no certificates issued by a building certifier on the Council's files.

e)Weathertightness claims

Section 44A(2)(ea) of LGOIMA. This section includes information notified to the Council under section 124 of the Weathertight Homes Resolution Services Act 2006.

The Council is unaware of any formal Weathertight Homes Resolution Services claim lodged against this property.

6. INFORMATION RELATING TO THE USE OF THE LAND, INCLUDING RESOURCE CONSENTS, LICENCES, AND OTHER NOTICES IMPACTING THE PROPERTY

Section 44A(2)(f) of LGOIMA. This section contains information relating to the use to which the land may be put and conditions attached to that use under the Resource Management Act 1991 and other legislation.

a) Operative Hastings District Plan



For enquiries, please contact the Council

Those intending to develop the land should satisfy themselves that the land is suitable for any intended use or future development proposal. In addition to any site-specific limitations recorded below, general restrictions that apply across the district may be relevant to the development of this property.

The Hastings District Plan – 2024 is fully operative and has legal effect. Further information regarding the District Plan, and any plan changes can be found online via this link: www.hastingsdc.govt.nz/sections/district-plan.

Operative District Plan

Zone	The property is located within the Havelock North Rural Residential Zone under the Operative District Plan. The status of any existing or proposed activities may be determined with reference to the District Plan and any planning or resource consents that may apply. Some rules are affected by uses and features on neighbouring or surrounding land, and it is recommended that you review the Plan in detail or seek independent professional advice.
Overlays	Significant Amenity Landscape Area
Designations or notations	N/A
Additional overlays to District Plan	Statutory Acknowledgement Areas – Heretaunga-Tamatea Area of Interest

b) Resource consents (including subdivision consents)

RM#	Description	Date Granted
RMA20060118	To subdivide to create 6 rural residential lots, and to waive the yard requirements of three building platforms	17/05/2007
RMA20070413	Cancel conditions 38 and 39 of RMA20060118	28/08/2007
RMA20080269	To subdivide to create 14 rural residential lots and to waive the yard requirements of eleven building platforms (Note: This application replaces and supersedes RMA20070308)	19/08/2008
RMA20080469	Apply for a variation to RMA20080269	01/10/2008
RMA20100003	Build in a special landscape character area	18/01/2010

Note: If there are any land use resource consents issued for this property, the Council recommends that you check those resource consents on the property file. There may be conditions attached to those resource consents for the property that are still required to be complied with.

The applicant should also satisfy themselves as to whether all conditions of resource consents for this property have been met.

If the land has been subdivided, there may be information included in this LIM that relates to the parent lot.

c) Resource consents on surrounding properties map

Refer to **attached** map for details.

d) Regional plans or bylaw

There may be objectives, policies or rules in a regional plan or a regional bylaw that regulates land use and activities on this site. Please direct enquiries to Hawke's Bay Regional Council.

e) Information concerning caveats, bonds, encumbrances, consent notices and covenants

For any information concerning caveats, bonds, encumbrances, consent notices or covenants, please refer to the Record of Title for this property and seek independent advice.

f) Land transport requirements



For enquiries, please contact the Council at customerservice@hdc.govt.nz

Any vegetation overhanging the footpath/road reserve boundary is to be maintained by the property owner.

Access from and to state highways is subject to Waka Kotahi NZ Transport Agency requirements. Please contact Waka Kotahi NZ Transport Agency for further information.

g) Licences



For enquiries, please contact the Council.

There are no current licences recorded for this property.

h) Other notices, requisitions, or orders

No information known to the Council.

i) Financial and / or development contributions



For enquiries, please contact the Council at customerservice@hdc.govt.nz

Financial and development contributions are relevant for recently subdivided land, vacant lots, new residential unit(s) or where there is further development of a site. If any financial or development contribution has not been paid, the Council can recover outstanding amount(s) from a subsequent owner of the land.

No information known to the Council.

7. OTHER LAND AND BUILDING CLASSIFICATIONS

Section 44A(2)(g) of LGOIMA. This section contains information notified to the Council by any statutory organisation having the power to classify land or buildings for any purpose.



For enquiries, please contact the Council.

No information known to the Council.

8. NETWORK UTILITY INFORMATION

Section 44A(2)(h) of LGOIMA. This section contains information notified to the Council by any network utility operator pursuant to the Building Act 1991 or the Building Act 2004.



For enquiries, please contact the Council.

No information known to the Council.

9. DISCRETIONARY INFORMATION

Section 44A(3) of LGOIMA. This section contains information concerning the land that the Council has, at its discretion, decided to include on the LIM as information that may be relevant.



For enquiries, please contact the Council.

a) Other correspondence, documents or information

None recorded.

APPENDIX A – HASTINGS DISTRICT PLAN MAPS

Hastings District Council - LIM Maps

Address: 15 Tauroa Valley HAVELOCK NORTH 4130
Property No: 101091
Legal Description: LOT 20 DP 410351

**HERETAUNGA
HASTINGS** DISTRICT COUNCIL

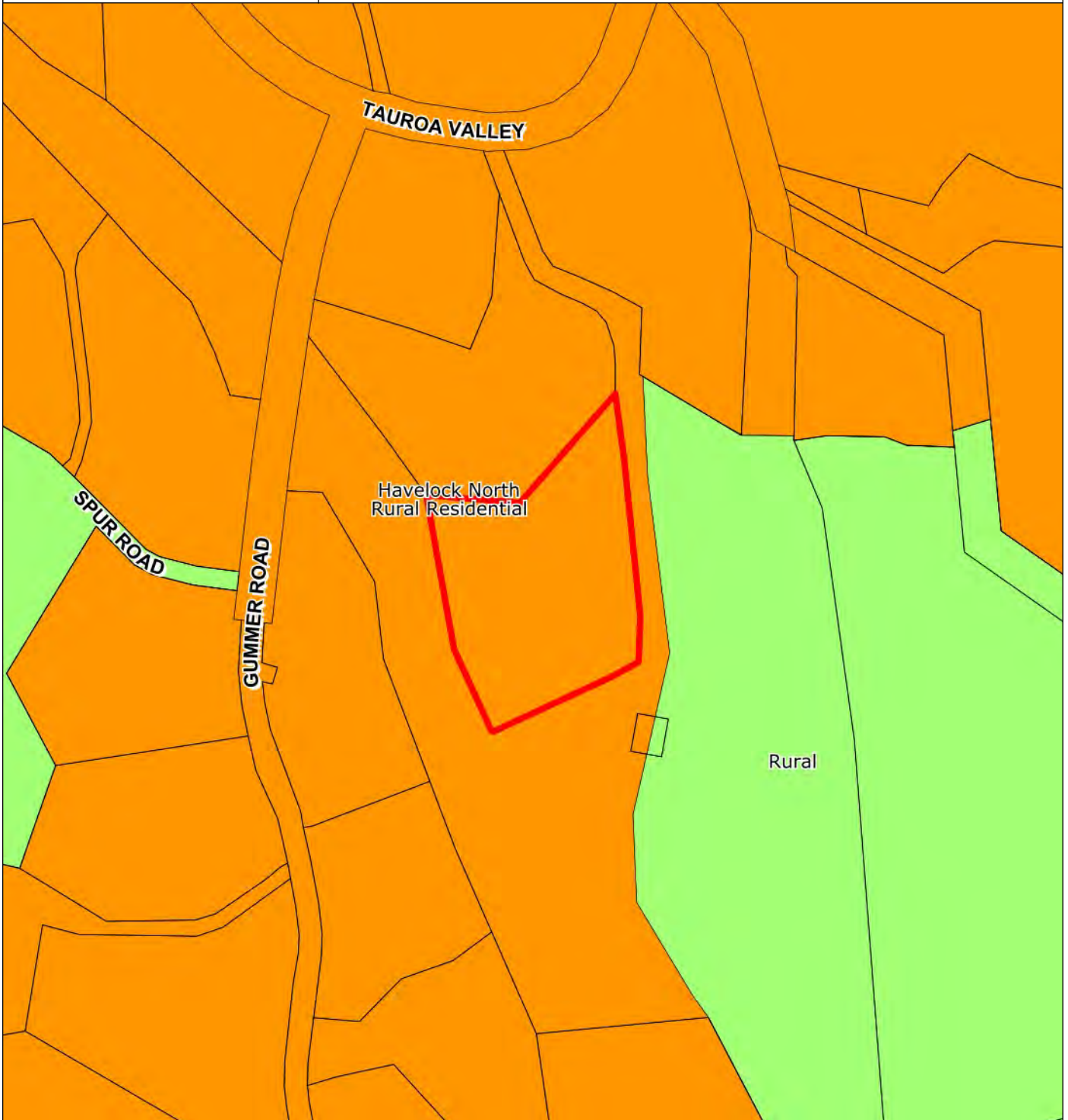
Printed: Thursday 17 Sep 2026



	Air Valve		Backsump		Aeration Tank		Water Mains		Kerblines
	Hydrant		Headwall		Chamber		Private Water Mains		
	Meter		Manhole		Manhole		Stormwater Mains		
	Non Return Valve		Pump		Pump		Private Stormwater Mains		
	Pump		Roding Eye		Roding Eye		Sewer Mains		
	Supply Valve		Sump		Valve		Private Sewer Mains		

Valuation No: 1050038960
Area (Hectares): 1.1835
Total Rates: \$7295.10
Capital Value: \$4,440,000
Rateable Land: \$3,220,000
Land Value: \$1,220,000
Water – Sewer Units: 1.0 - 1.0
Usage – Primary: 91

DATA SOURCE: Cadastral information derived from the Land Information New Zealand's Core Record System (CRS).
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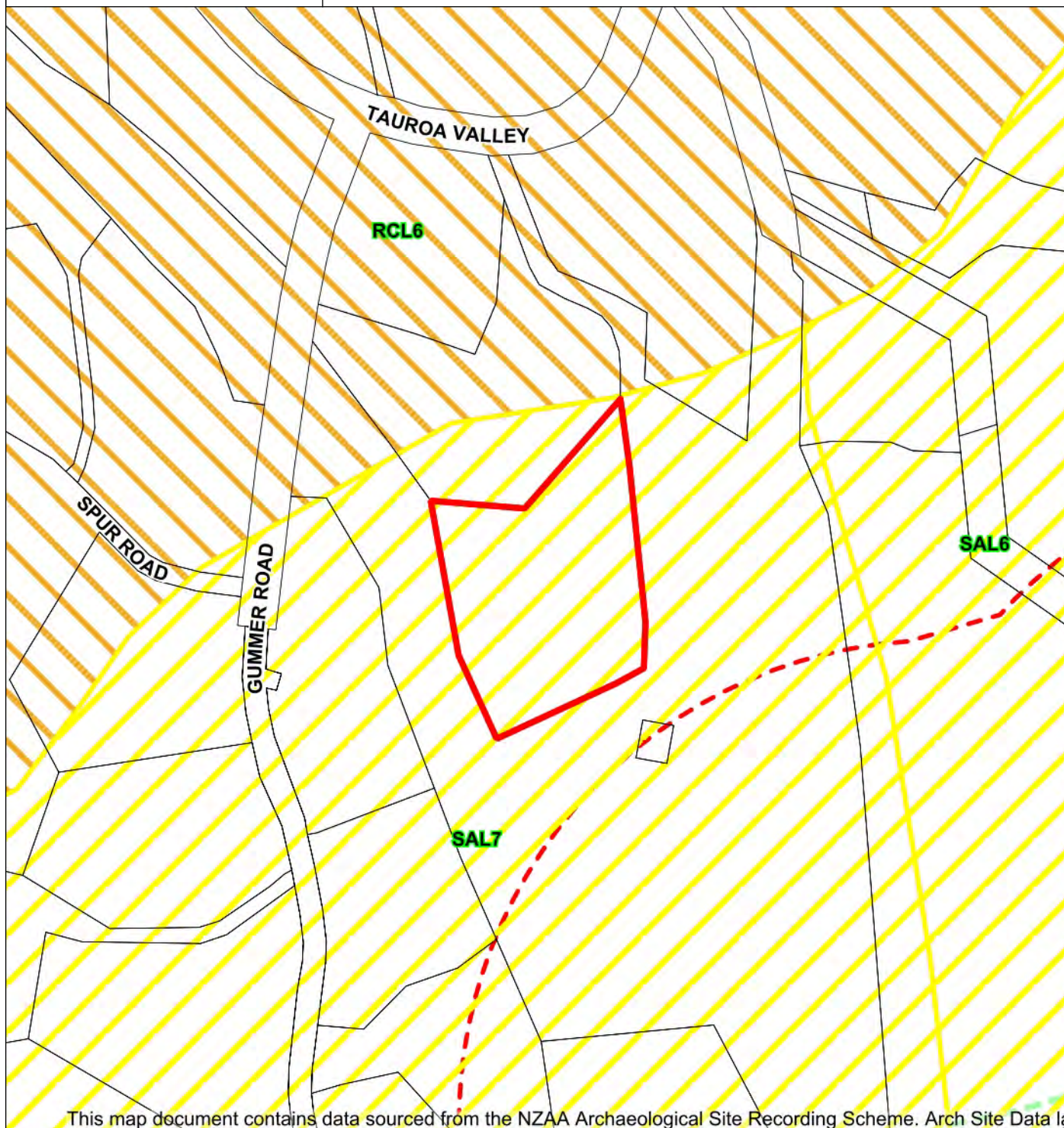
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Operative District Plan Zones

 Brookvale Structure Plan (Stormwater Management Areas)

Residential Zones

-  Clive-Whakatu Residential
-  Coastal Settlement
-  Deferred Residential
-  Flaxmere Community Residential
-  Flaxmere General Residential
-  Hastings Character Residential
-  Medium Density Residential
-  Hastings General Residential
-  Haumoana - Te Awanga Residential
-  Haumoana Te Awanga Deferred Residential
-  Haumoana Te Awanga Deferred Residential A
-  Haumoana Te Awanga Deferred Residential B
-  Havelock North Character Residential
-  Havelock North General Residential
-  Plains Settlement
-  Regional Hospital
-  Rural Residential
-  Havelock North Rural Residential
-  Waimarama Coastal Settlement

Commercial Zones

-  Bridge Pa Suburban Commercial
-  Central Commercial
-  Clive-Whakatu Suburban Commercial
-  Commercial Service
-  Flaxmere Commercial
-  Flaxmere Commercial Service

-  Haumoana - Te Awanga Suburban Commercial
-  Havelock North Village Centre Business
-  Havelock North Village Centre Mixed
-  Havelock North Village Centre Retail
-  Large Format Retail
-  Residential Commercial
-  Suburban Commercial
-  Waimarama Suburban Commercial

Industrial Zones

-  Deferred General Industrial
-  General Industrial
-  Havelock North Village Centre Industrial
-  Light Industrial
-  Tomoana Food Industry
-  Whirinaki Industrial

Rural / Plains Zone

-  Plains Production
-  Rural

Open Space Zones

-  Deferred Regional Sports Park Zone
-  Deferred Open Space
-  Hawkes Bay Regional Sports Park
-  Open Space

Special Character Zones

-  Iona Special Character Zone
-  Nature Preservation Zone
-  Te Mata Special Character Area
-  Tuki Tuki Special Character Area

Operative District Plan Designations and Notations

 Bridge Pa Aerodrome Height Restrictions (Appendix 35)

 1km Buffer from Maraekākaho Hall

 Scheduled Activities

 Designations

 Contaminated Sites

• National Grid Pylons

— National Grid Lines

Additional Layer to District Plan

 20m Buffer from National Grid Lines

Operative District Plan Heritage and Natural Environment Overlays

-  Prohibited Building Area - Te Mata Eastern Escarpment
-  Unconfined Aquifer (2013)
-  Coastal Environment Boundary

Cultural / Heritage

-  Archaeological Sites (* See Note below re accuracy)
-  Notable Trees
-  Wāhi Taonga (W)
-  Historic/Heritage Features (HB)
-  Queen Street East Historic Area
-  Russell Street Historic Area
-  Oak Avenue Historic Area
-  Green Hill Historic Area
-  Historic Features - Rule H13 Buffer

Riparian Land Management

-  Riparian Areas
-  List 1
-  List 2
-  Recommended Areas For Protection

Landscape Review

-  Coastal Landscape Character Area
-  Outstanding Natural Feature
-  Outstanding Natural Landscape Area
-  Rural Landscape Character Area
-  Significant Amenity Landscape Area

Additional Layers to District Plan

Te Mata - Cultural Assessment Area

-  Buffer
-  Landscape Area
-  Wahi Atua
-  Wahi Whenua

Operative District Plan Urban and Built Environment Overlays

-  Designated Retail Frontages (Appendix 30)
-  Prohibited Development Area
-  Noise Boundaries - Lyndhurst and Northwood
-  Pan Pac Noise Contours
-  Bridge Pa Noise Contours
-  Hastings Character Residential Areas (Appendix 38)

Onsite Parking Exemptions (Appendix 70)

-  Area With 100% Exemption - Area 'A'
-  Area With 50% Exemption - Area 'B'

Overlays and Precincts

-  Breadalbane Avenue Special Character Area
-  Toop Street Character Area
-  Central Character Precinct
-  Te Mata Restricted Building Area
-  Restricted Building Area - Havelock North Character Residential
-  Te Mata Lifestyle Area Limit
-  Te Awanga Lifestyle Area Limit
-  Roys Hill Winegrowing Area

Additional Layers to District Plan

-  Intensive Rural Production Areas
-  Intensive Rural Production - Buffer Areas
-  Water Supply Bores (HDC)
-  Water Supply Bore Protection Buffers

*This map document contains data sourced from the New Zealand Archaeological Association (NZAA) Archaeological Site Recording Scheme.

Archaeological site data shown has been recorded between 1979 and 2015. The accuracy of an archaeological site is recorded only to within 100m of a site and must only be used as a guide. To ascertain the exact location, nature and extent of any archaeological site shown on a property, NZAA advise that the user arrange on-site verification by a qualified archaeologist. NZAA gives no warranty in relation to the data (including accuracy, reliability, completeness or suitability) and accepts no liability, without limitation, liability in negligence) for any loss, damage or costs relating to any use of the data.



Operative Date of Appendix 69 – 19 December 2020

Original Sheet Size A4

Thursday 17 Sep 2026

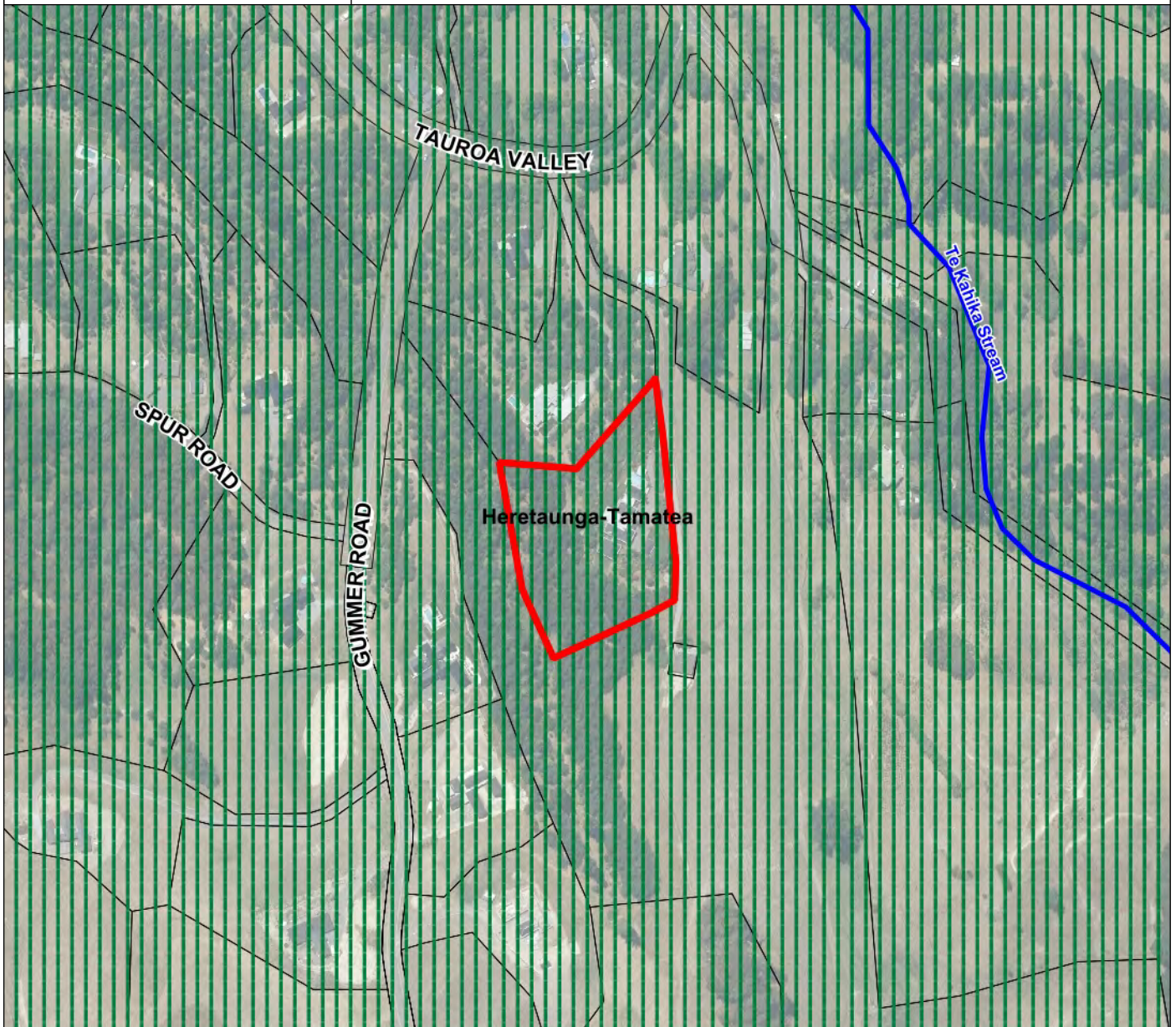
DATA SOURCE: Cadastral information derived from Land Information New Zealand's (LINZ) Core Record System Database (CRS).

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ADDITIONAL LAYERS TO DISTRICT PLAN STATUTORY ACKNOWLEDGEMENT AREAS

15 Tauroa Valley HAVELOCK NORTH 4130



Heretaunga-Tamatea, Redress Areas	Ngāti Hineuru, Area of Interest	Ngāti Tuwharetoa, Area of Interest
Heretaunga-Tamatea, Area of Interest	Ngāti Hineuru, Redress Areas	Ngāti Whare, Areas
Mana Ahuriri, Areas	Ngāti Manawa, Areas	Ngāti Whare, Area of Interest
Mana Ahuriri, Area of Interest	Ngāti Manawa, Area of Interest	Ngāti Whare, Redress Areas
Maungaharuru-Tangitu Trust, Areas	Ngāti Manawa, Redress Areas	Tuhoë, Area of Interest
Maungaharuru-Tangitu, Area of Interest	Ngāti Pahauwera, Area of Interest	
Ngāti Hineuru, Areas	Ngāti Pahauwera, Areas	

Original Sheet Size A4

Thursday 17 Sep 2026

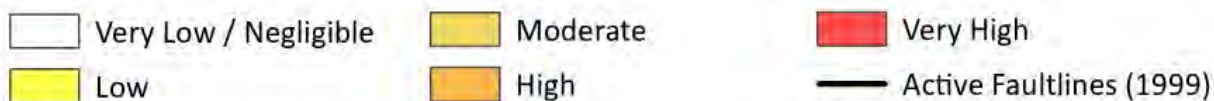
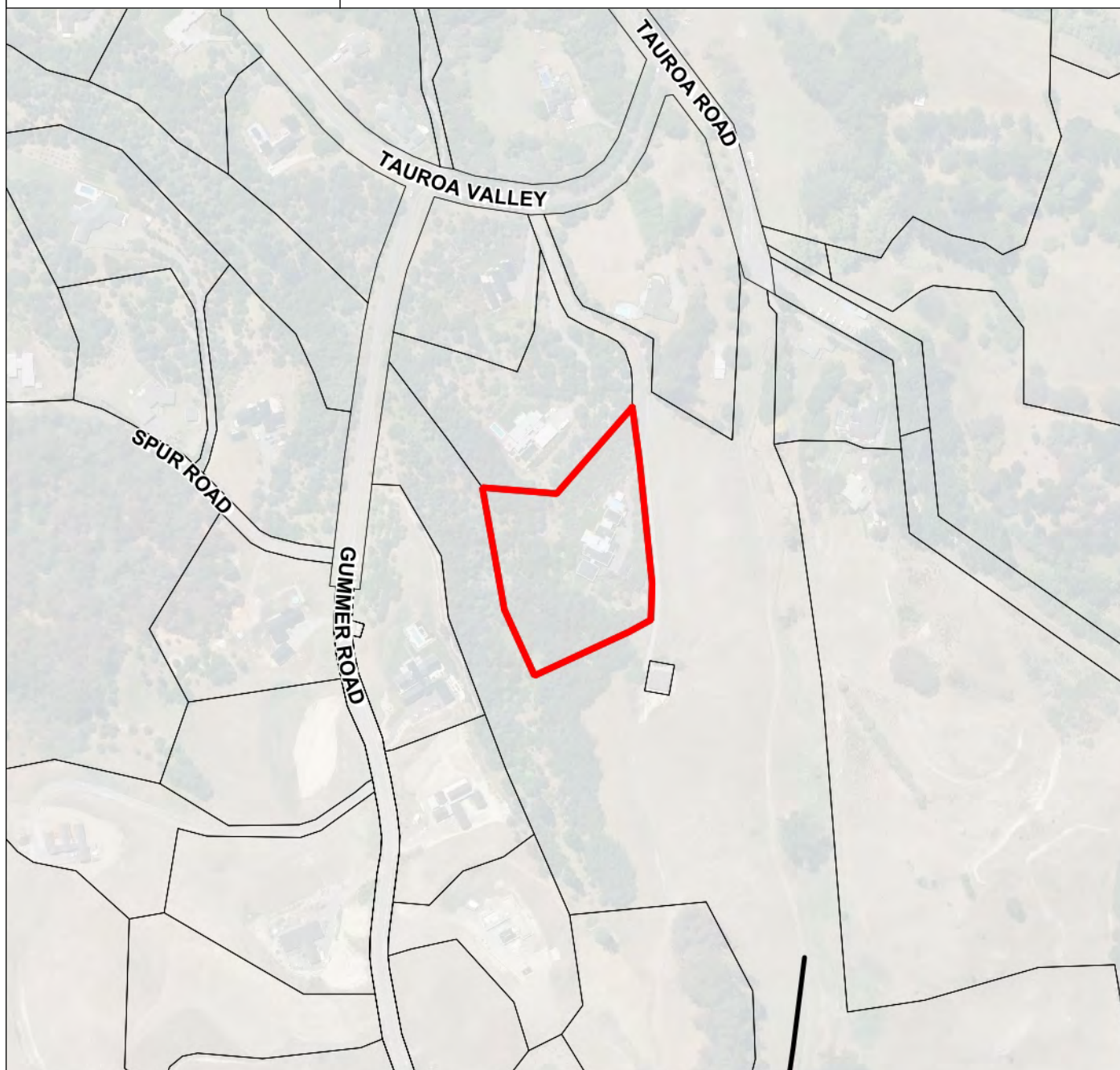
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DISTRICT PLAN – LIQUEFACTION (APPENDIX 57 FIGURE 2)

15 Tauroa Valley HAVELOCK NORTH 4130



Source Data: Institute of Geological and Nuclear Sciences Client Report 1999/6, 1999

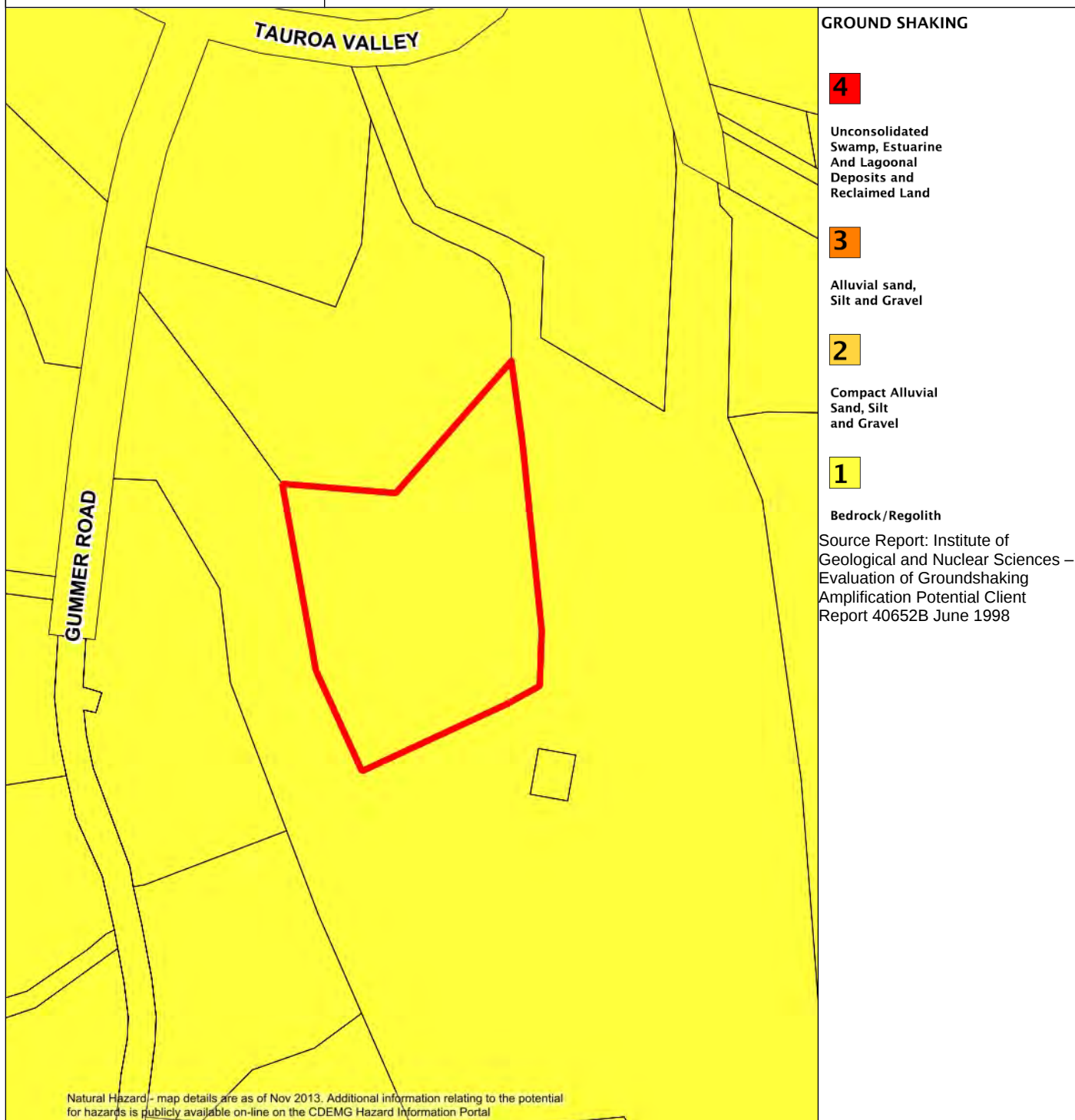
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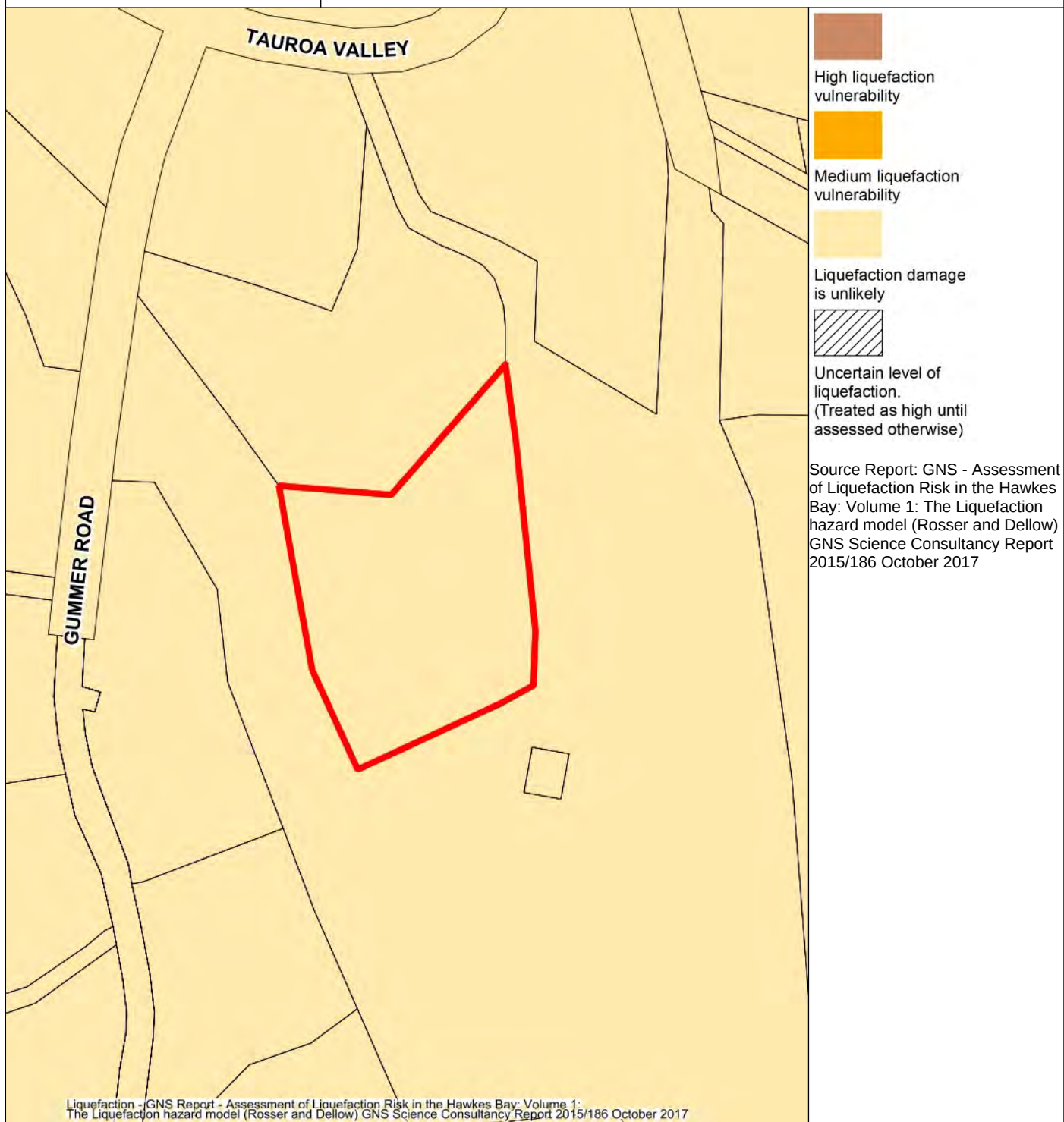


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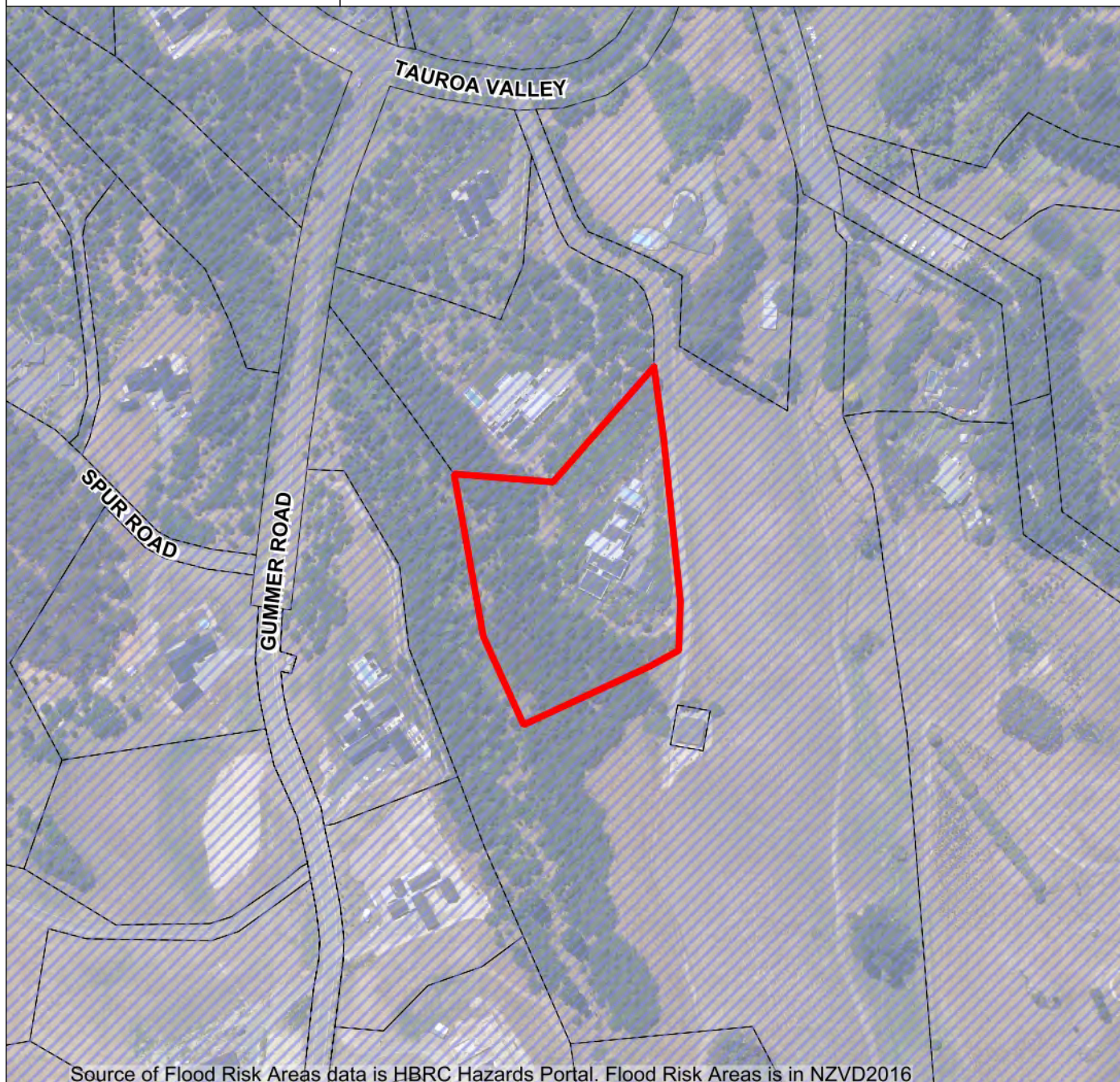
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- Flood risk areas
- Low risk areas
- Not in study area

Data Source from the Hawke's Bay Regional Council.
For more information, please refer to the Hawke's Bay Hazard Information Portal.
<https://gis.hbrc.govt.nz/hazards/>

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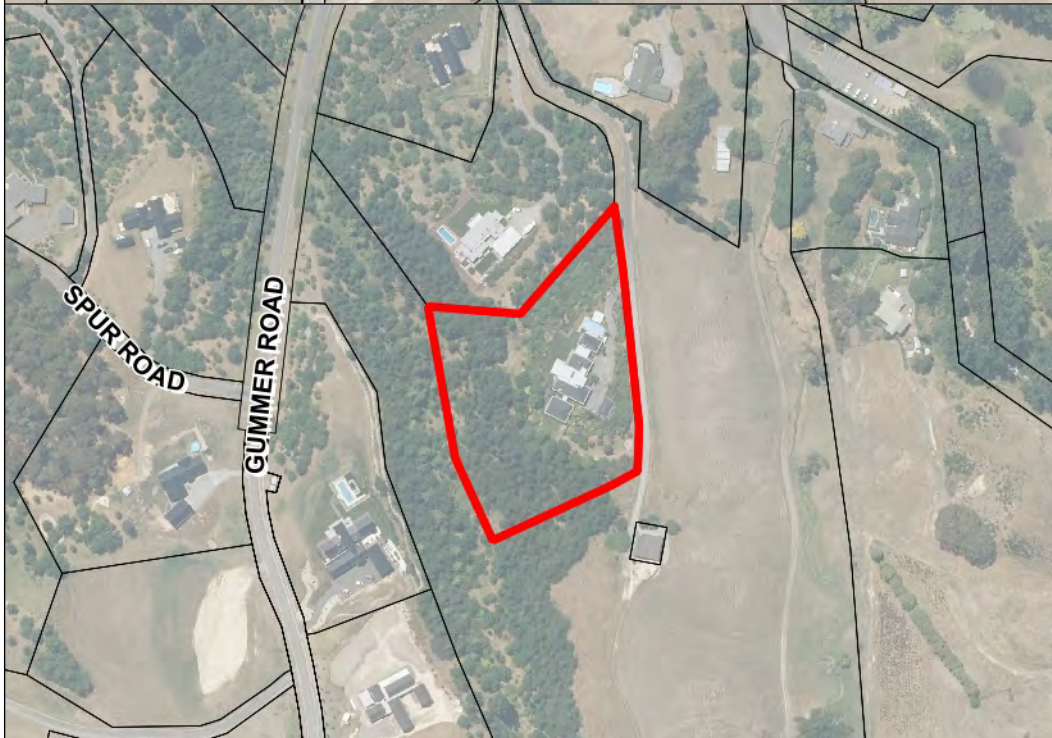
DATA SOURCE: Cadastral information derived from Land Information New Zealand's (LINZ) Core Record System Database (CRS).

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- Suspected Fill Areas
- Suspected Dump Sites
- Engineered Fill
- Actual Dump Sites



- 22-08-1979
- 24/25-08-1981
- 26-07-1985
- 1986
- 13-03-1986
- 1988
- 9-03-1988
- 30-07-1990
- 23-08-1990
- 1992
- 22-07-1992
- 1993
- 1994
- 1995
- 8-04-1995
- October 1995
- 1996
- 4-07-1996
- 1996/2006
- 1997
- October 1998
- 6-07-2006
- Flooding Areas
- Historic Ponding
- Ponding Areas
- Problem Areas

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At or Below Background: Natural State	Contaminated for Land Use: Human Health	Suitable for Land Use: Natural State
At or Below Background: Remediated	Managed For Land Use	Suitable for Land Use: Remediated
Contaminated for Land Use: Environment	Risk Not Quantified	

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RMA CONSENTS ON NEARBY PROPERTIES

Map Reference	RMA Description
1	101091 - RMA20100003 - build in a special landscape character area - Granted
2	101094 - RMA20110298 - application to build in a special landscape character area - Complete
3	103108 - RMA20070308 - Subdivide an existing title to create an additional 7 Rural-Residential titles, and to waive the 15 metre side yard requirements for nominated building platfor - 224Granted 103108 - RMA20160002 - Proposed 2 Bay Storage Shed - Complete
4	103946 - RMA20180321 - Building a new dwelling in the Havelock North Rural Residential Zone and SAL7 - Granted 103946 - RMA20180539 - Accessory building 13.2m long x 7.8m wide built within 3m of the Dwelling. - Granted
5	103947 - RMA20170076 - Controlled activity - New Dwelling within a Significant Amenity Landscape Area in the Rural Residential Zone - Granted
6	103948 - RMA20220063 - Proposed new dwelling and swimming pool in the Havelock North Rural Residential Zone - Granted
7	103949 - RMA20180233 - New Dwelling within the Havelock North Rural Residential Zone - Granted
8	103950 - RMA20170144 - Construction of new dwelling in Significant Amenity Landscape Area in the Rural Residential Zone - Granted 103950 - RMA20190182 - New 328sqm dwelling in special landscape character area and associated earthworks - Granted 103950 - RMA20240430 - Change condition 1 of RMA20190182 in the Havelock North Rural Residential Zone. - Granted 103950 - RMA20250442 - Variation to RMA20240430 to add a small addition to an existing residential dwelling in the Havelock North Rural Residential Zone - Complete
9	103951 - RMA20200324 - Proposed new dwelling in significant amenity landscape area in the Havelock North Rural Residential Zone - Granted
10	103952 - RMA20180227 - Proposed new residential dwelling within the Havelock North Rural Residential zone - Granted 103952 - RMA20240156 - Proposed variation to RMA20180227 to alter the footprint in the Havelock North Rural Residential Zone - Granted
11	103954 - RMA20160302 - New dwelling that exceeds 50m2 in SCL7 Rural Residential Zone - Granted
12	103955 - RMA20170052 - Erect Dwelling and accessory building in SAL 7 - landscape character area of Rural Residential Zone - Granted 103955 - RMA20260028 - Additions to the existing dwelling in the Havelock North Rural Residential Zone - Granted
13	103956 - RMA20180270 - New Dwelling Erected according to Section 17.1 - Granted
14	103957 - RMA20170501 - Construction of a new residential building larger than 50m2 within a significant amenity landscape - Granted
15	103958 - RMA20220047 - Proposed new dwelling with consideration of the scale, design and surrounding planting so that the dwelling mitigates adverse effects on the landscape in the H - Granted
16	93516 - RMA20010370 - to subdivide & erect a dwelling 30m from the rural zone boundary - Granted 93516 - RMA20010466 - to vary RMA 20010370 - Granted 93516 - RMA20040633 - Make existing balcony into sunroom - Granted 93516 - RMA20130276 - Erect a New Dwelling within the Significant Landscape Character Area - Granted
17	94035 - RMA20120364 - establish & operate a visitor information and education centre - Complete

	94035 - RMA20140124 - Upgrade To Existing Rooftop Telecommunications Facility - Complete 94035 - RMA20170053 - Earthworks for MTB tracks on Te Mata Peak in the Rural Zone - Granted 94035 - RMA20170137 - Earthworks to form a new carpark at Te Mata Park in the Rural Zone - Granted 94035 - RMA20170267 - Application for a Side Yard Waiver for new public toilets at Te Mata Park and building over 50m² in ONFL1 - Granted 94035 - RMA20210112 - Upgrade to telecommunications facility - Granted 94035 - RMA20240303 - Upgrade of existing telecommunications facility in the Rural Zone - Granted 94035 - RMA970609 - to erect and operate a telephone cell site 2074 - Granted 94035 - RMA980206 - to carry out earthworks and a temporary event - Granted
18	94899 - RMA20200191 - Proposed earthworks to construct additional tracks in the Havelock North Rural Residential Zone - Granted
19	96496 - RMA20030211 - to subdivide to create 10 rural residential sites, and a balance area - Granted 96496 - RMA20070308 - Subdivide an existing title to create an additional 7 Rural-Residential titles, and to waive the 15 metre side yard requirements for nominated building platfor - 224Granted 96496 - RMA20070413 - cancel conditions 38 and 39 of RMA20060118 - Granted 96496 - RMA20080269 - To subdivide to create 14 rural residential lots and to waive the yard requirements of eleven building platforms (Note: This application replaces and supersede - 224Granted 96496 - RMA20080469 - apply for a variation to RMA20080269 - Await_223 96496 - RMA20120144 - Proposed subdivision. Sec37A(4)(b)(ii) (Refer to Variation RMA20130379) - Await_223 96496 - RMA20120148 - 1 Lot Rural Residential Subdivision and Associated Earthworks (Refer to variation RMA20130379) - Await_223 96496 - RMA20130379 - Change conditions of RMA20120144 & RMA20120148 - Granted 96496 - RMA20140109 - Variation to Decision RMA20120144/RMA20120148 (stages 6 and 7) - Await_223 96496 - RMA20140269 - Variation To Subdivision Consent RMA20140109 - Granted 96496 - RMA20140399 - variation to conditions RMA20120144 & RMA20120148. Paused again 18/2/2014 - Granted 96496 - RMA20150144 - Change of Conditions of RMA20140399 - Await_223 96496 - RMA20180234 - Proposed subdivision to create two lots from lot 19 within the Rural zone with some residual in the Rural Residential Zone - Granted

APPENDIX B – CONSENTS & CERTIFICATES

FORM 5
BUILDING CONSENT
Section 51, Building Act 2004



Building Consent Number ABA20091532

The Building

Street address of building: 15 Tauroa Valley HAVELOCK NORTH 4130

Legal description of land where building is located: LOT 20 DP 410351 CT 438232

Building name: N/A

Location of building within site/block number: N/A

Level/unit number: ONE

The Owner

Name of owner: Trevor Herbert Taylor, Kathryn Claudette Ingram,
Jeremy Francis Gresson, T K Family Trust

Contact person: TK FAMILY TRUST (TREVOR TAYLOR)

Mailing address: C/O Trevor Taylor 53 Palmerston Road HAVELOCK NORTH 4130

Street address/registered office: 53 PALMERSTON ROAD HAVELOCK NORTH

Phone number: Landline: 8776250

Mobile: 0272477939

Daytime: 8776250

After hours: 0272477939

Facsimile number:

Email address:

First point of contact for communications with the council/building consent authority:
TK FAMILY TRUST (TREVOR TAYLOR)

Building Work

The following building work is authorised by this building consent:

Erect New Dwelling

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

Compliance Schedule

A compliance schedule is not required for the building.

Attachments

Copies of the following documents are attached to this building consent:

Project Information Memorandum

Issued by Hastings District Council

18 February 2010



CODE COMPLIANCE CERTIFICATE

Section 95, Building Act 2004

SECTION 1

THE BUILDING	
Building consent number ABA20091532	Issued by: Hastings District Council
Description of Work:	Erect New Dwelling
Street Address of Building:	15 Tauroa Valley HAVELOCK NORTH 4130
Legal Description of land where building is located:	LOT 20 DP 410351 CT 438232
Building Name:	N/A
Location of building within site/block number:	N/A
Level/unit number:	ONE
Current, lawfully established, use:	DWELLING
Year first constructed:	N/A
Intended Specified Life:	Indefinite

SECTION 2

THE OWNER	
Name of owner: Trevor Herbert Taylor, Kathryn Claudette Ingram, Jeremy Francis Gresson, T K Family Trust	
*Contact Person:	
Owner's mailing address: T.K. Family Trust C/O Trevor Taylor 53 Palmerston Road HAVELOCK NORTH 4130	Street address/Registered office:

Owner's contact details:

Landline:

Mobile:

After hours:

Facsimile Number:

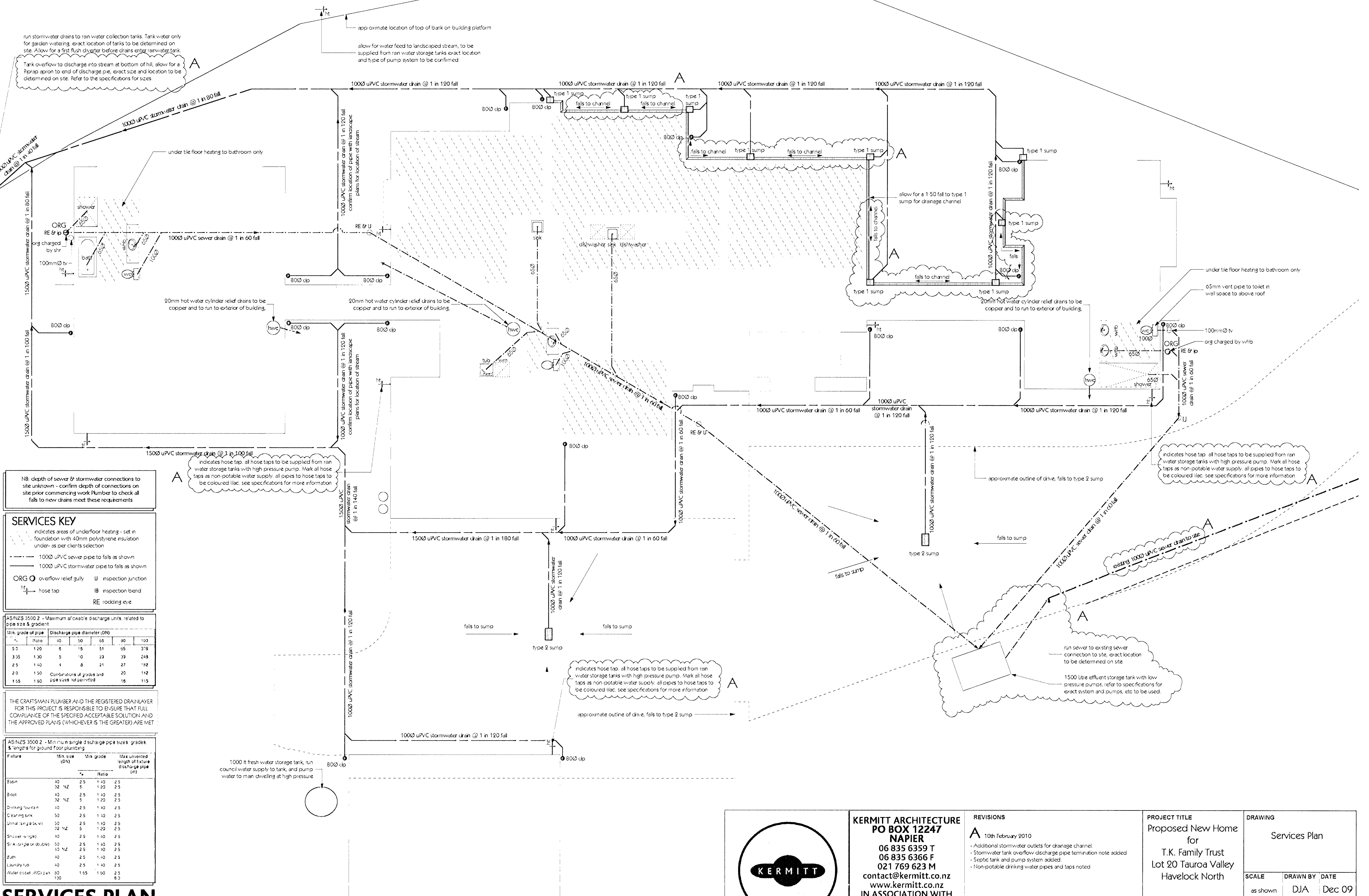
Email:

Website:

SECTION 3

CODE COMPLIANCE
The building consent authority named below is satisfied, on reasonable grounds, that -
(a) the building work complies with the building consent

Signed on behalf of Hastings District Council
08 September 2011



NB: depth of sewer & stormwater connections to site unknown - confirm depth of connections on site prior commencing work. Plumber to check all falls to new drains meet these requirements

SERVICES KEY

indicates areas of underfloor heating - set in foundation with 40mm polystyrene insulation under-as per clients selection

1000 uPVC sewer pipe to falls as shown

1000 uPVC stormwater pipe to falls as shown

ORG overflow relief gully U inspection junction

ht hose tap IB inspection bend

RE rodding eye

AS/NZS 3500.2 - Maximum allowable discharge units, related to pipe size & gradient

Min. grade of pipe	Discharge pipe diameter (DN)	40	50	65	80	100
5.0 1:20	8	15	51	65	378	
3.35 1:30	5	10	29	39	248	
2.5 1:40	4	8	21	27	182	
2.0 1:50				20	142	
1.65 1:60				16	115	

Combinations of grades and pipe sizes not permitted

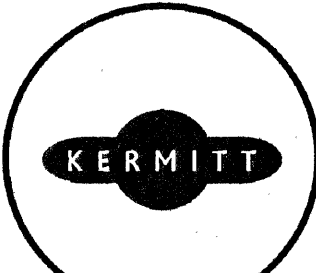
THE CRAFTSMAN PLUMBER AND THE REGISTERED DRAINLAYER FOR THIS PROJECT IS RESPONSIBLE TO ENSURE THAT FULL COMPLIANCE OF THE SPECIFIED ACCEPTABLE SOLUTION AND THE APPROVED PLANS (WHICHEVER IS THE GREATER) ARE MET

AS/NZS 3500.2 - Minimum single discharge pipe sizes, grades, & lengths for ground floor plumbing

Fixture	Min. size (DN)	Min. grade	Max unvented length of fixture discharge pipe (m)
Basin	40	2.5 1:20	2.5
	32 NZ	5 1:20	2.5
Bidet	40	2.5 1:20	2.5
	32 NZ	5 1:20	2.5
Drinking fountain	40	2.5 1:20	2.5
Cleaning sink	50	2.5 1:20	2.5
Urinal (single bowl)	50	2.5 1:20	2.5
Shower (single)	32 NZ	5 1:20	2.5
Sink (single or double)	40	2.5 1:20	2.5
	32 NZ	5 1:20	2.5
Bath	40	2.5 1:20	2.5
Laundry tub	40	2.5 1:20	2.5
Water closet (WC) pan	80	1.65 1:60	2.5
	100		6.0

SERVICES PLAN

Scale 1:100@A2



KERMITT ARCHITECTURE
PO BOX 12247
NAPIER
06 835 6359 T
06 835 6366 F
021 769 623 M
contact@kermitt.co.nz
www.kermitt.co.nz
IN ASSOCIATION WITH
CLARKSON ARCHITECTS

REVISIONS

A 10th February 2010

- Additional stormwater outlets for drainage channel.
- Stormwater tank overflow discharge pipe termination note added
- Septic tank and pump system added.
- Non-potable drinking water pipes and taps noted

PROJECT TITLE

Proposed New Home
for
T.K. Family Trust
Lot 20 Tauroa Valley
Havelock North

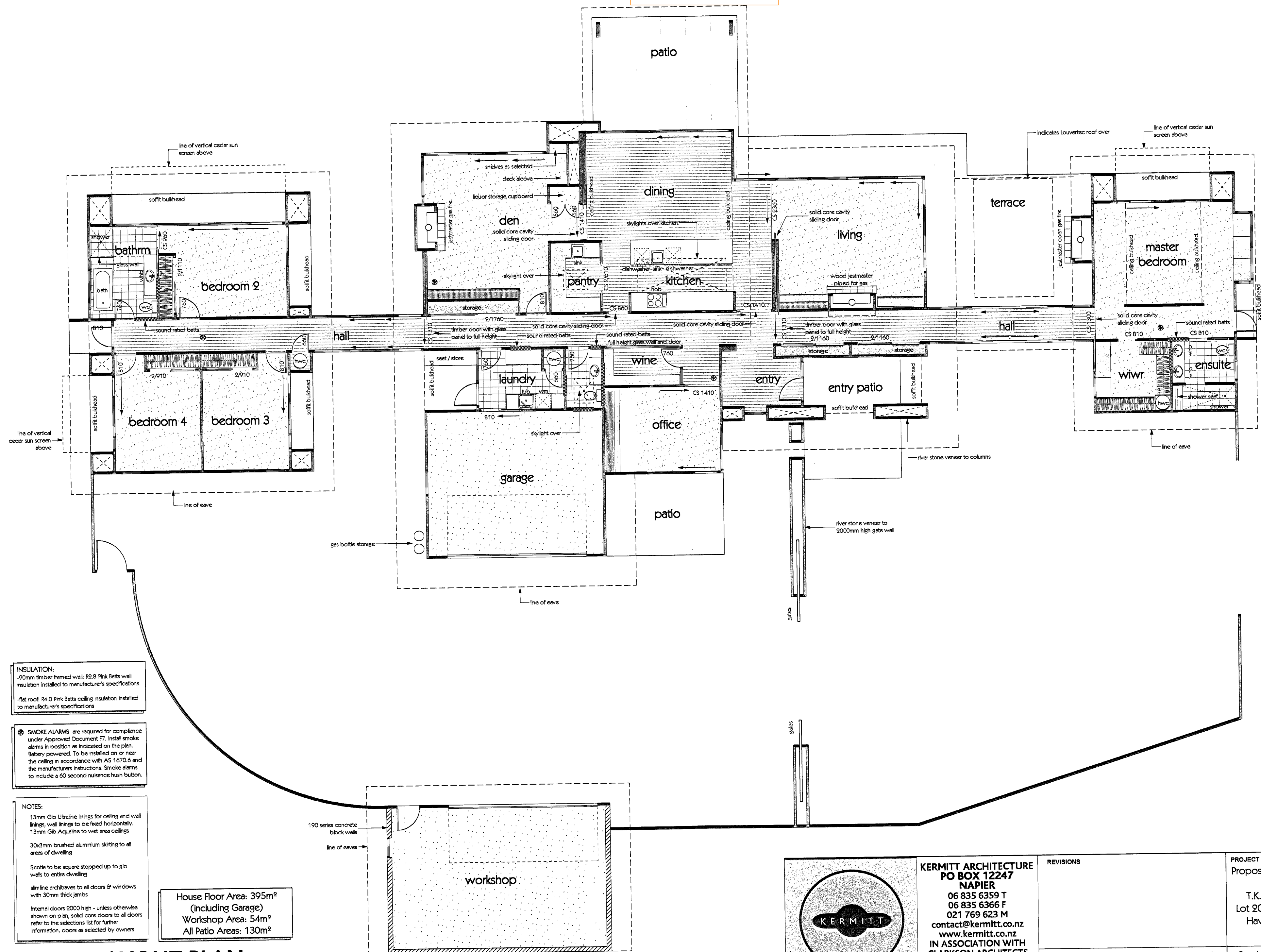
DRAWING

Services Plan

SCALE	DRAWN BY	DATE
as shown	DJA	Dec 09

JOB NO	SHEET	REV
876	A04	1

Notwithstanding what is shown in the plans and specifications, all building work shall comply with the NZ Building Code, Do not scale from drawing. Contractor must verify on site



INSULATION:
-90mm timber framed wall: R2.8 Pink Betts wall insulation installed to manufacturer's specifications
-flat roof: R4.0 Pink Betts ceiling insulation installed to manufacturer's specifications

⊗ **SMOKE ALARMS** are required for compliance under Approved Document F7. Install smoke alarms in position as indicated on the plan. Battery powered. To be installed on or near the ceiling in accordance with AS 1670.6 and the manufacturers instructions. Smoke alarms to include a 60 second nuisance hush button

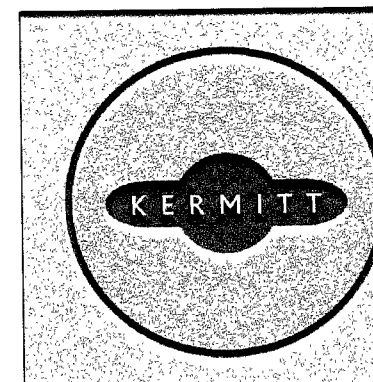
NOTES:

- 13mm Gib Ultraline linings for ceiling and wall linings, wall linings to be fixed horizontally.
- 13mm Gib Aqualine to wet area ceilings
- 30x3mm brushed aluminium skirting to all areas of dwelling
- Scotia to be square stopped up to gib walls to entire dwelling
- slimline architraves to all doors & windows with 30mm thick jambs
- Internal doors 2000 high - unless otherwise shown on plan, solid core doors to all doors refer to the selections list for further information. Doors as selected by owners

House Floor Area: 395m²
(including Garage)
Workshop Area: 54m²
All Patio Areas: 130m²

FLOOR LAYOUT PLAN

Scale 1:100 @ A2



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NAPIER
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021 769 623 M
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CLARKSON ARCHITECTS

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REVISIONS

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all building work shall comply with the NZ Building Code,
acceptable solutions and / or approved alternative solutions.

PROJECT TITLE	D
Proposed New Home for T.K. Family Trust Lot 20 Tauroa Valley Havelock North	S

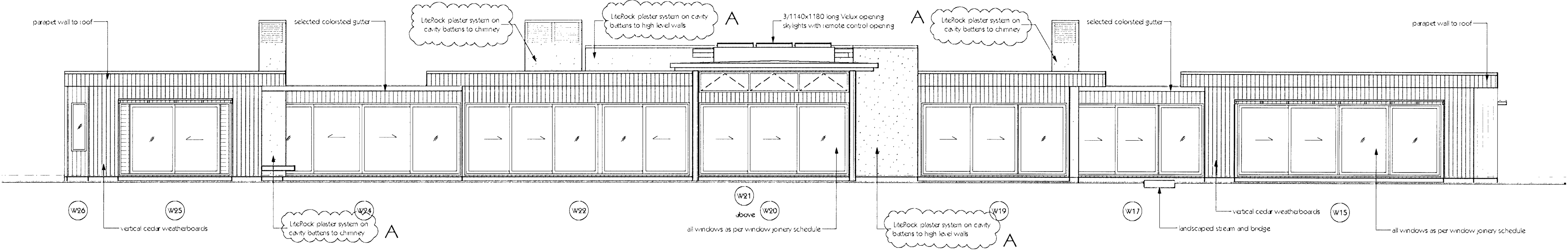
**Do not scale from drawing.
Contractor must verify on site
before commencing any work.**

DRAWING

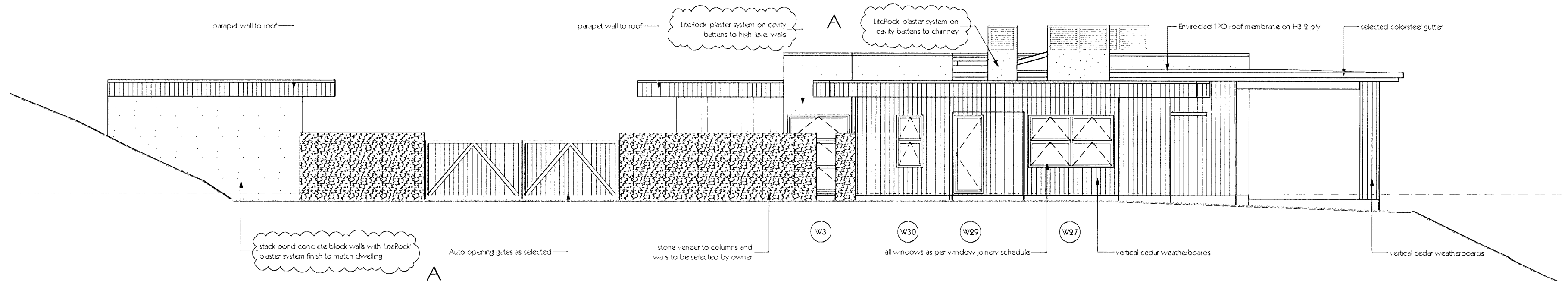
Floor Layout Plan

SCALE	DRAWN BY	DATE
as shown	DJA	Dec

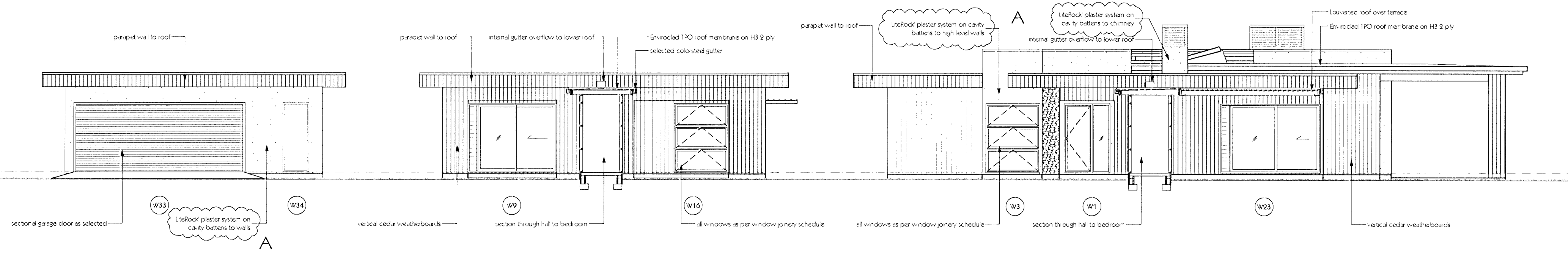
DB NO	SHEET	REV
876	A05	



North Elevation



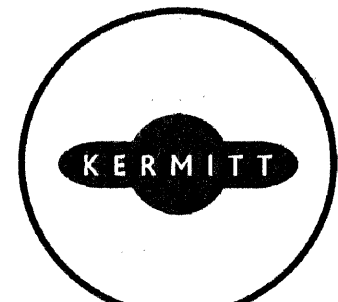
East Elevation



Garage-North Elevation

Bedroom Wing-East Elevation

Living/Entry-East Elevation



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REVISIONS

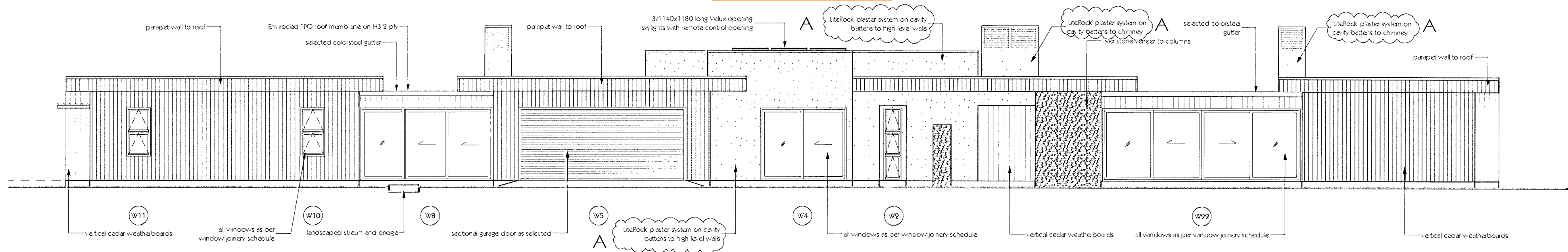
A 10th February 2010
- plaster finish cladding confirmed

Notwithstanding what is shown in the plans and specifications,
all building work shall comply with the NZ Building Code,

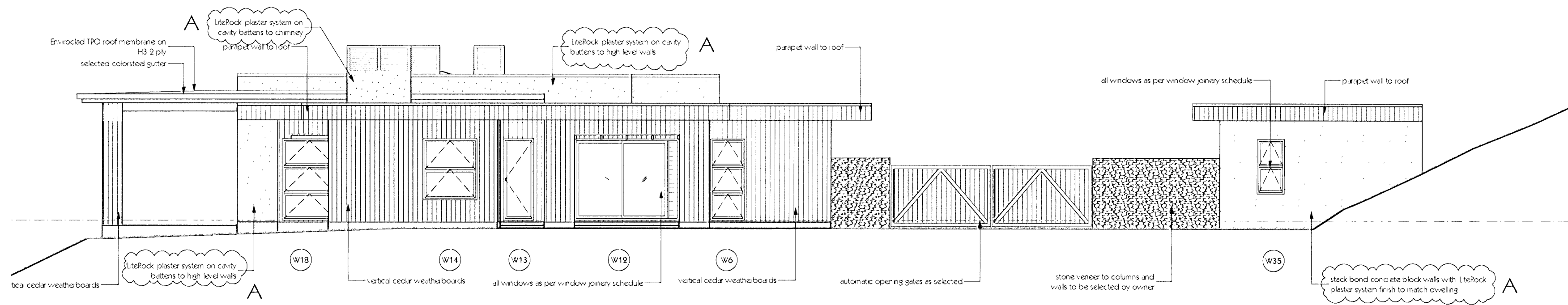
PROJECT TITLE
Proposed New Home
for
T.K. Family Trust
Lot 20 Tauroa Valley
Havelock North

Do not scale from drawing.
Contractor must verify on site

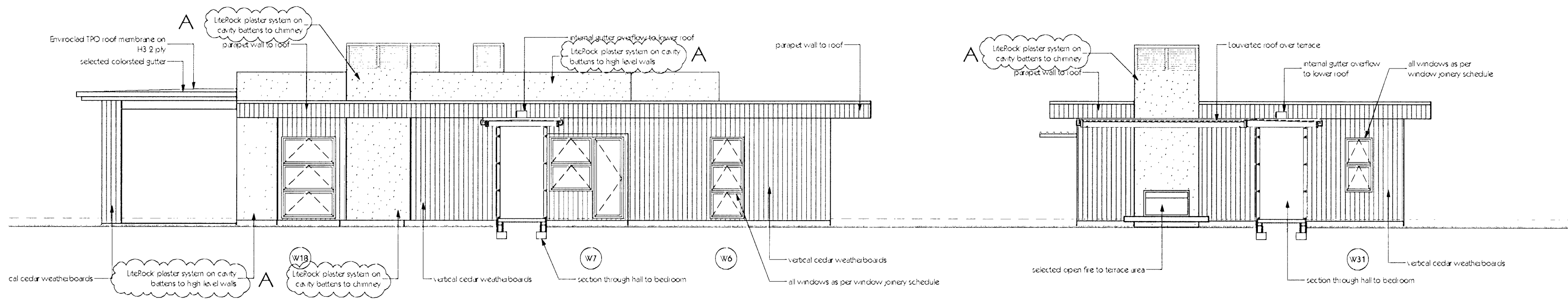
DRAWING		
Elevations North and East		
SCALE as shown	DRAWN BY DJA	DATE Dec 09
JOB NO 876	SHEET A07	REV



South Elevation



West Elevation

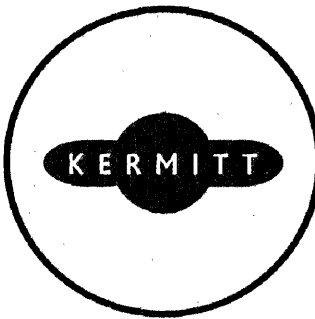


Garage/Den-West Elevation

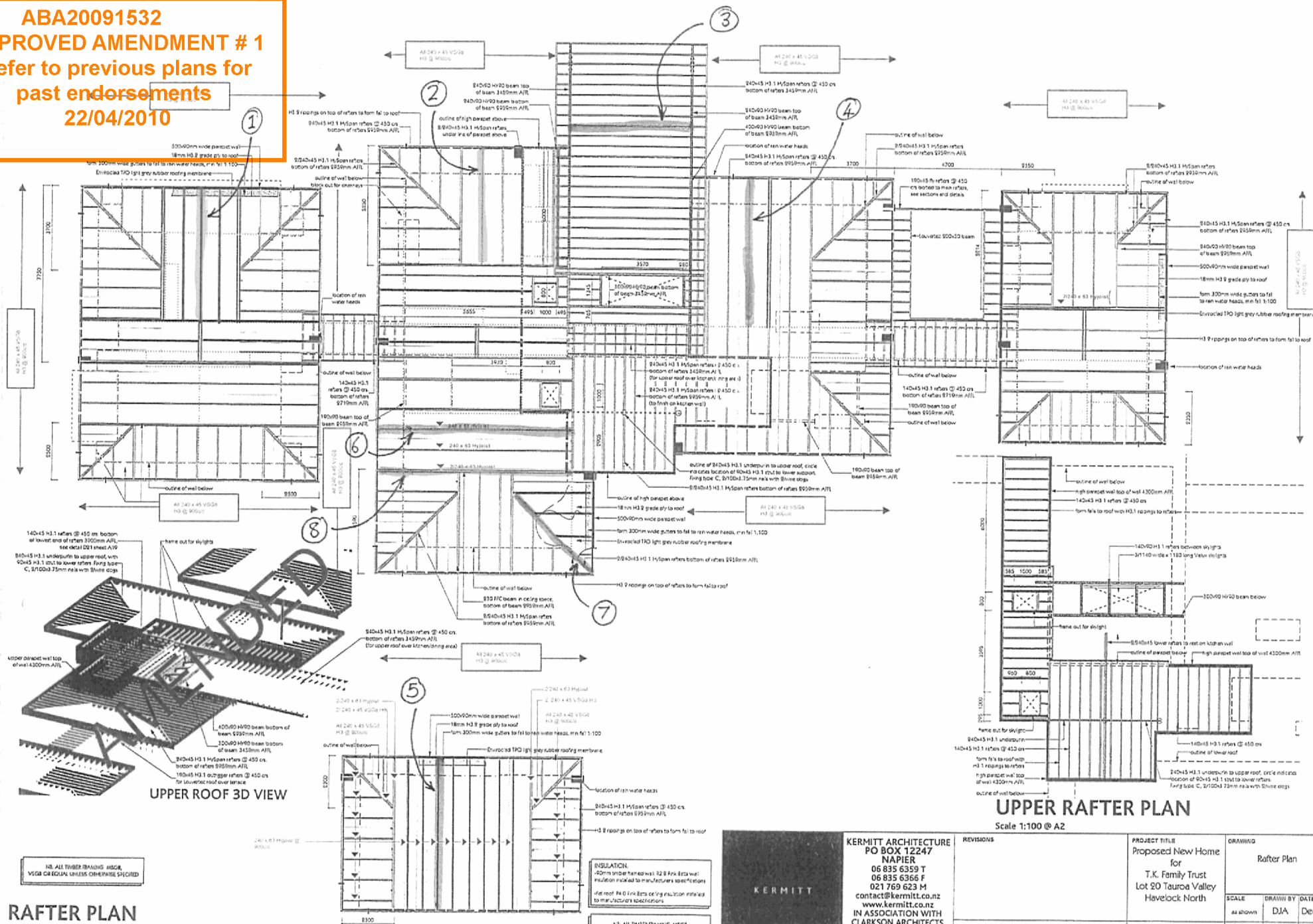
Master Bedroom-West Elevation

ELEVATIONS

Scale 1:100 @ A2

	KERMITT ARCHITECTURE PO BOX 12247 NAPIER 06 835 6359 T 06 835 6366 F 021 769 623 M contact@kermitt.co.nz www.kermitt.co.nz IN ASSOCIATION WITH CLARKSON ARCHITECTS Copyright © Kermitt Architecture	REVISIONS A 10th February 2010 - plaster finish cladding confirmed Notwithstanding what is shown in the plans and specifications, all building work shall comply with the NZ Building Code, acceptable solutions and / or approved alternative solutions.	PROJECT TITLE Proposed New Home for T.K. Family Trust Lot 20 Tauroa Valley Havelock North	DRAWING Elevations South and West		
				SCALE as shown	DRAWN BY DJA	DATE Dec 09
				JOB NO 876	SHEET A08	REV Rev A
				Do not scale from drawing. Contractor must verify on site before commencing any work.		

ABA20091532
APPROVED AMENDMENT # 1
 Refer to previous plans for
 past endorsements
 22/04/2010



RAFTER PLAN

Scale 1:100 @ A2

KERMITT ARCHITECTURE
 PO BOX 12247
 NAPIER
 06 835 6359 T
 06 835 6366 F
 021 769 623 M
 contact@kermitt.co.nz
 www.kermitt.co.nz
 IN ASSOCIATION WITH
 CLARKSON ARCHITECTS

REVISIONS

Notwithstanding what is shown in the plans and specifications,
 all building work shall comply with the NZ Building Code.
 The contractor shall be responsible for obtaining all necessary consents.

PROJECT TITLE
 Proposed New Home
 for
 T.K. Family Trust
 Lot 20 Taurua Valley
 Havelock North

SCALE
 as shown

DRAWING
 Rafter Plan

SCALE
 as shown

DRAWN BY
 DJA

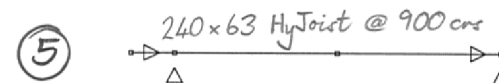
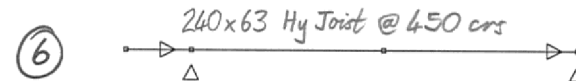
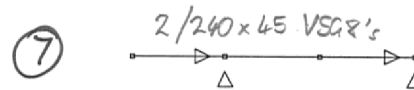
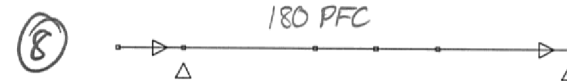
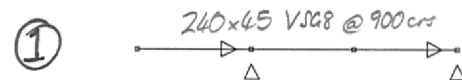
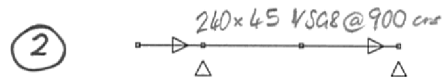
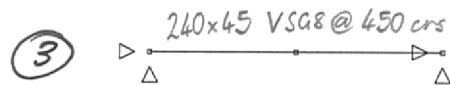
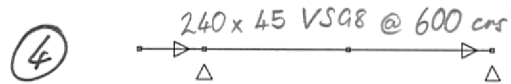
DATE
 Dec 09

JOB NO
 A76

SHEET
 A13

REV

2



No general restraint

Materials:
 ■ 1 MSG8
 ■ 2 HySpan
 ■ 3 STEEL

Sections:
 ■ 1 240x45
 ■ 2 240 HyJoist 63
 ■ 4 180 PFC
 ■ 5 2/240x45

ABA20091532
APPROVED AMENDMENT # 2
Refer to previous plans for
past endorsements
11/05/2010
10 May 2010



**HASTINGS
DISTRICT
COUNCIL**

Kermitt Architecture Ltd
PO Box 12247
Ahuriri
NAPIER 4144

Dear Kermitt Architecture Ltd

Building Consent No: ABA20091532
Proposal: Erect New Dwelling
Building Project at: 15 Tauroa Valley HAVELOCK NORTH 4130

Following your request for an amendment to the above consent, please find the approved plans appended and the revised conditions and/or inspections listed below if applicable:

Amendment Granted – Additional Conditions and/or Inspections Required

Amendment approval is subject to the following requirements.
All existing conditions and inspections specified in the approved Building Consent still apply.
If listed below additional conditions and inspections apply:

Additional Inspections Required

- Retaining Wall Footing Inspection
- Masonry Block Wall Inspections

The processing costs incurred, and any extra inspections required as a result of the amendment, will be charged to you prior to the issue of a Code Compliance Certificate.

Should you have any questions in relation to this matter then please do not hesitate to call me at (06) 871 5137.

Yours sincerely

John Guthrie
Building Quality Officer
johng@hdc.govt.nz

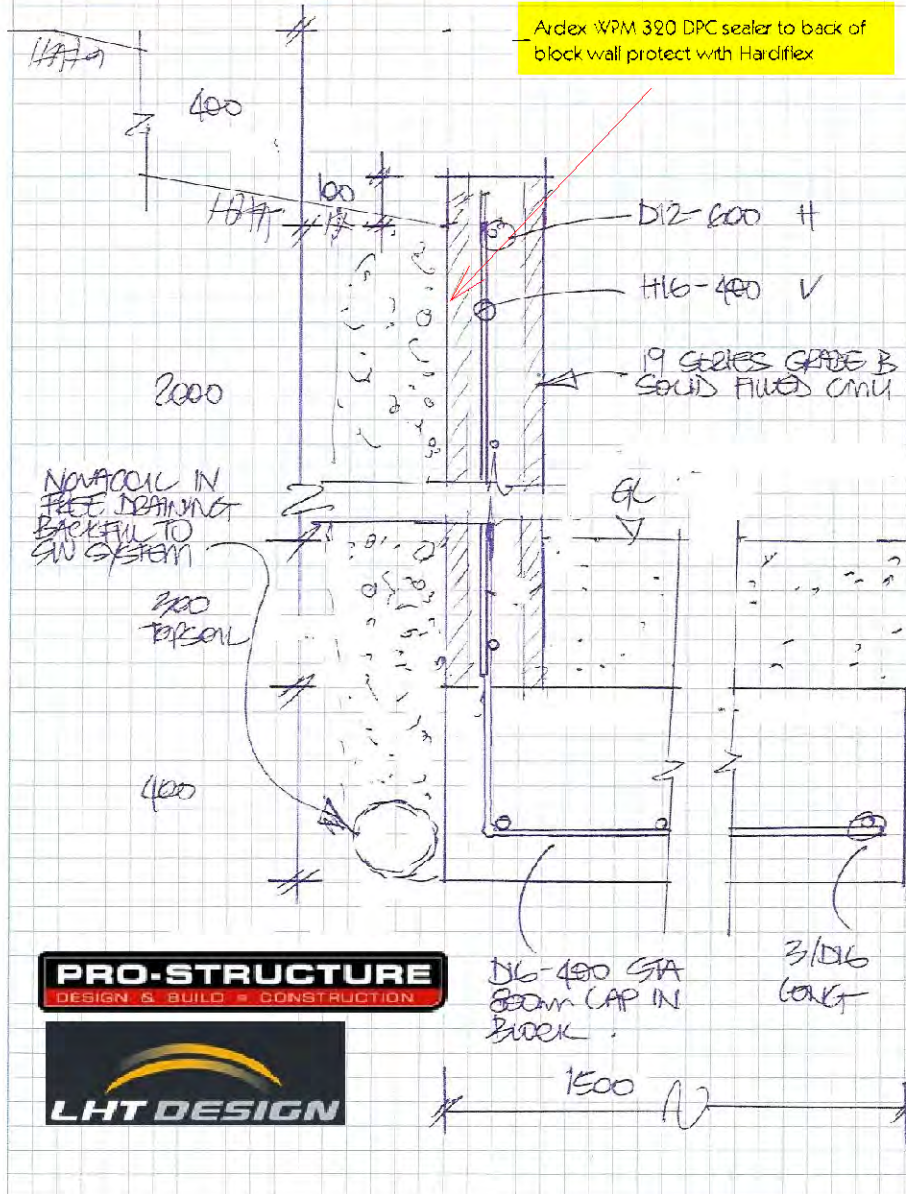
**ABA20091532
APPROVED AMENDMENT # 2**

Refer to previous plans for
past endorsements
11/05/2010

Hastings
Ph: (03) 878 3400
Fax: (03) 878 0200
Email: solutions@lht.co.nz
www.lht.co.nz

DATE: 05/10
LANE NO: 1878
SHEET NO: 3
BY: KMC

ABA 2009 1532 Amendments



PRO-STRUCTURE
DESIGN & BUILD = CONSTRUCTION



Hastings District Council
207 Lyndon Rd East, Hastings, 4122
Private Bag 8002, Hastings, 4156
Ph 871 5000, Fax 871 5115
amendments@hdc.govt.nz

AMENDMENT APPLICATION FORM

- NOTE 1: This form must be completed and attached to every amendment you submit to Council.
NOTE 2: All additional fees will be charged and invoiced (payable) prior to receiving your Code Compliance Certificate.
NOTE 3: Council has the right to refuse incomplete applications. Please allow 20 working days for processing (Council will endeavour to prioritise all amendments), however if all required information is not supplied you may experience additional delays in obtaining your amended consent.
NOTE 4: Documentation submitted on CD or via email must be submitted in multi-page PDF format.

SECTION 1: OWNER/AGENT: this form must be completed by the owner or agent

Name of ☐ Owner ☒ Agent: Pro-Structure Limited Date: Friday, 7 May 2010

Building Consent Number: ABA: 2009 1532

Project Address: Lot 20 DP 410351 CT 438232 15 Tauroa Valley Havelock North 4130

How would you like to receive the approved amendments? ☐ Collect in person ☒ Email (limit 4 MB) ☐ Post (if posted provide mailing address below)

Postal Address: PO Box 11065, Hastings 4156

Owner's/Agent's contact details:

Landline: 06 8708109 Mobile: Ken: 027 685 6160, Richard: 027 220 846 Email: km_services@xtra.co.nz

SECTION 2 - AMENDMENT DESCRIPTION: comprehensive written description of changes this amendment is applicable to

Project Description - Reference sheet numbers amendments relate to (e.g. Sheets 3 & 6, Floor Plan and Bracing Plan - window W9 and Bracing element B3 positions swapped. Sheet 4, Western Elevation - window W9 repositioned)

Retaining wall detail and extent

**Additional retaining wall footing
inspection and masonry block wall
inspections required.**

SECTION 3: PLANS: include references to all sheet numbers with changes and highlight around the changes on the drawings/plans

1 copy of all plans. The plans must be:

Drawn clearly to scale (ruler, not sketched)	Yes	No	N/A	Clear and concise copies (*not reduced in size)	Yes	No	N/A
On plain white, preferably A3 paper	Yes	No	N/A	Include the designers name	Yes	No	N/A
Drawn in ink (not pencil)	Yes	No	N/A	Engineering details are drawn	Yes	No	N/A
Changed Sheet Numbers referenced	Yes	No	N/A	Changes highlighted on all drawings/plans (ballooned/circled)	Yes	No	N/A

SECTION 4: SPECIFICATIONS: new specifications relevant to changes provided

Specific design calculations & details	Yes	No	N/A	Identify compliance with the NZ Building Code	Yes	No	N/A
Structural calculations & producer statements	Yes	No	N/A	List all Alternative Solutions	Yes	No	N/A
Fire safety systems	Yes	No	N/A	Alternative solutions calculations / producer statements	Yes	No	N/A
Details of all materials, fittings and installation requirements for these amendments	Yes	No	N/A		Yes	No	N/A

Office use

Handling Officer:

Property ID:

Amendment application form: Completed by the ☐ owner ☐ agent on behalf of and with written authority from the owner

Yes No

ABA20091532
APPROVED AMENDMENT #2

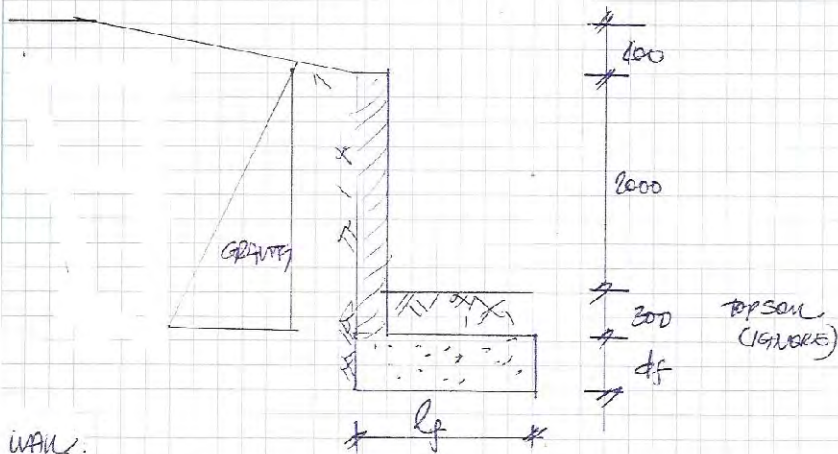
Refer to previous plans for
past endorsements

11/05/2010

TK FARMY TRUST

CALCULATION SET 16/03/10 AMW

WALLS RESTAINING - WALL:



WALL:

GRAVITY



$$p = 2.5 \times 18 \times \frac{1}{3} = 15 \text{ kPa}$$

$$M_{wall} (1.25G) = 17.9 \frac{\text{kNm}}{\text{m}}$$

$$H_{16-400} \text{ skin} = 21.2 \frac{\text{kNm}}{\text{m}}$$

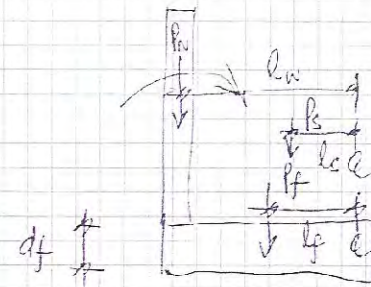
TK FARMY TRUST
DATE 05/10
TASK No 11878
SHEET No 2
BY BNY

LHT DESIGN
Hastings
Ph (05) 875 3400
Fax (05) 875 9300
Email solutions@lht.co.nz
www.lht.co.nz

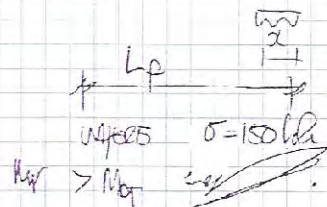
TK FARMY TRUST
DATE 05/10
TASK No 11878
SHEET No 2
BY BNY

FOOTING

$$M_{cf} = 21.2 \frac{\text{kNm}}{\text{m}}$$



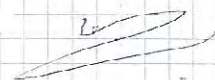
df



skin

$$q^* = 23 \text{ kPa}$$

$$dH = 0.8 \times (1.6 \times 1 \times 17) = 35 \text{ kPa}$$



TK Trust Overturning

Mct	27.20
df	0.40
Lf	1.53
d (soil)	0.30
p(wall)	10.03
p(soil)	7.26
p(footing)	14.73
x	0.21
l(wall)	1.33
l(soil)	0.57
l(footing)	0.66
Mr	27.20

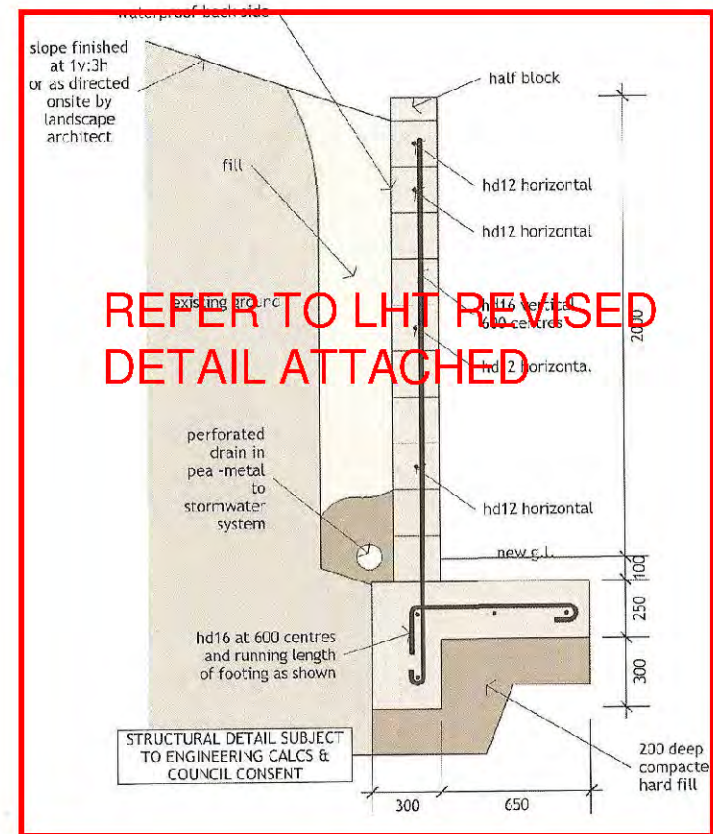
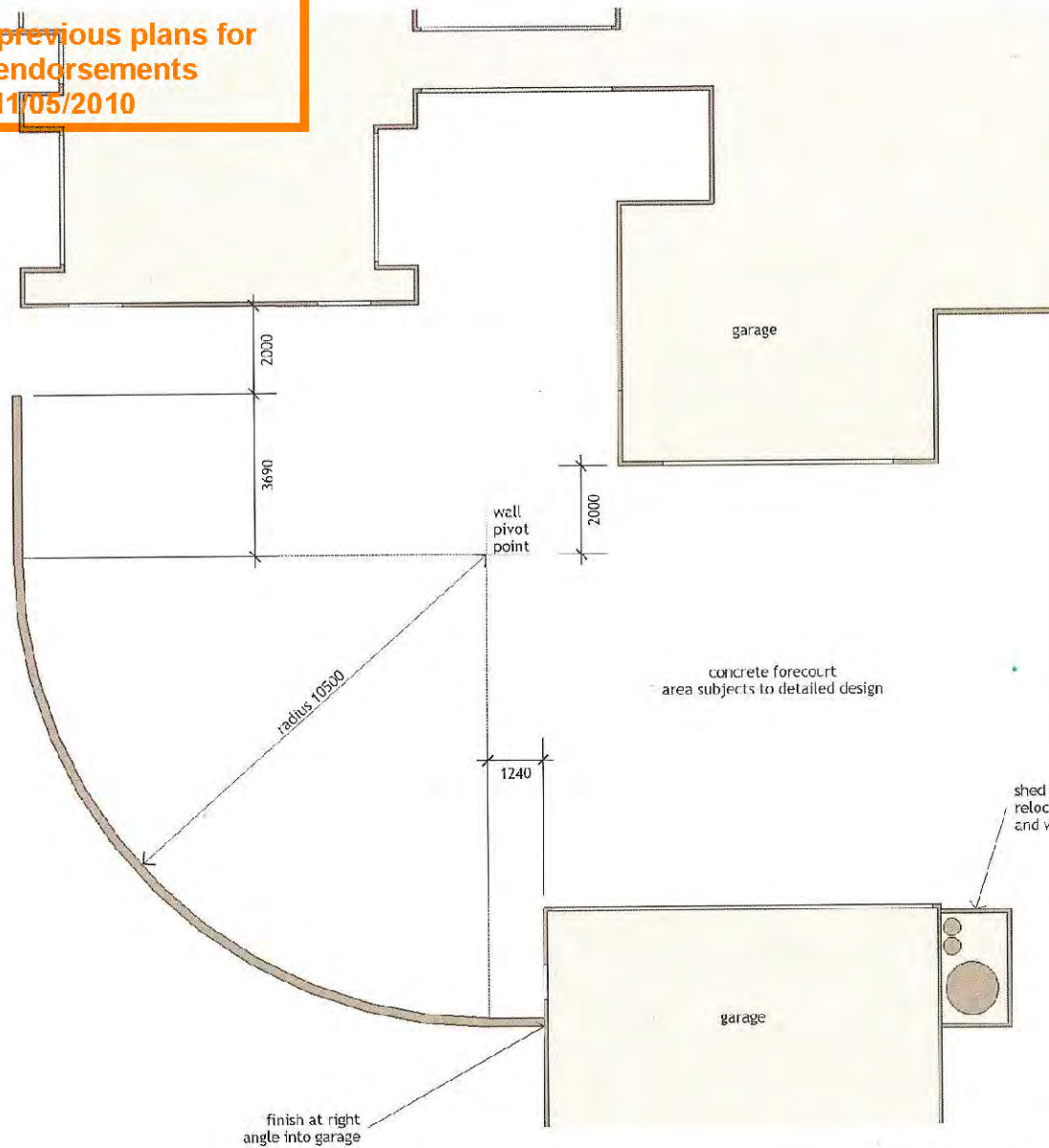
ABA 2009 1532 Amendments



PRO-STRUCTURE
DESIGN & BUILD & CONSTRUCTION

**ABA20091532
APPROVED AMENDMENT # 2**

**Refer to previous plans for
past endorsements
11/05/2010**



**REFER TO LHT REVISED
DETAIL ATTACHED**

wall details
taylor/ingram house

scales 1:100 and 1:20 (A3)

date 03 may 2010

shannon bray landscape architect

the hillside
1042 kahuranaki road
rd14 havelock north
hawke's bay 4295

06 874 7885
027 451 6319
shannon@sbta.co.nz
www.sola.co.nz

ABA 2009 1532 Amendments



If calling ask for Colin Hornett
TRIM Ref: 101091#0042

11 August 2010

Kermitt Architecture Ltd
PO Box 12247
Ahuriri
NAPIER 4144



Dear Kermitt Architecture Ltd

Building Consent No: ABA20091532
Proposal: Erect New Dwelling
Building Project at: 15 Tauroa Valley HAVELOCK NORTH 4130

Following your request for an amendment to the above consent, please find the approved plans appended and the revised conditions and/or inspections listed below if applicable:

Amendment Granted – No Additional Conditions or Inspections

All existing conditions and inspections specified in the approved Building Consent still apply.
The amendment is approved with no additional conditions or inspections.

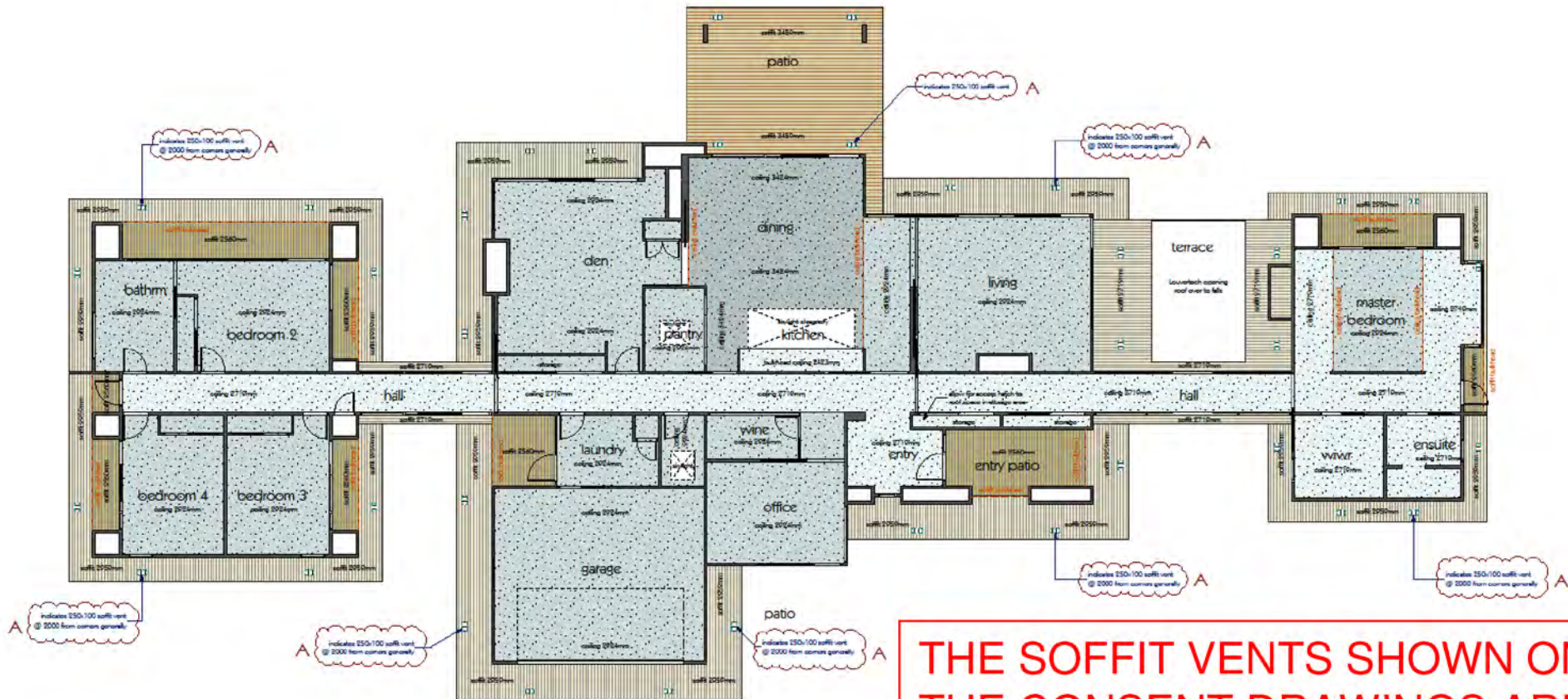
The processing costs incurred, and any extra inspections required as a result of the amendment, will be charged to you prior to the issue of a Code Compliance Certificate.

Should you have any questions in relation to this matter then please do not hesitate to call me at (06) 871 5137.

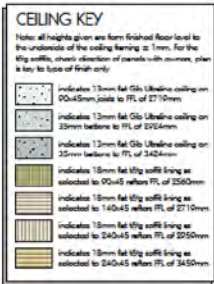
Yours sincerely

Colin Hornett
Building Officer
bcinfo@hdc.govt.nz

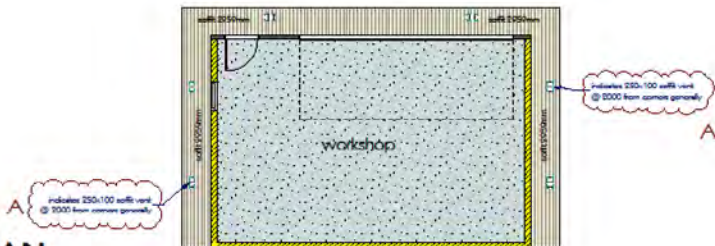
ABA20091532
APPROVED AMENDMENT # 3
Refer to previous plans for past
endorsements
11/08/2010



THE SOFFIT VENTS SHOWN ON
THE CONSENT DRAWINGS ARE
TO BE DELETED DUE TO THE
CHANGE OF ROOFING TYPE SEE
AMENDMENT 1



REFLECTED CEILING PLAN



KERMITT ARCHITECTURE
PO BOX 12247
NAPIER
06 835 6359 T
06 835 6366 F
021 769 623 M
contact@kermitt.co.nz
www.kermitt.co.nz
IN ASSOCIATION WITH
CLARKSON ARCHITECTS

REVISIONS

A 10th February 2010
- Roof ventilation notes added

NOTE: THESE PLANS ARE TO BE READ IN CONJUNCTION WITH THE PERMIT SET AND CHANGES MADE BY PROSTRUCTURE

all building work shall comply with the NZ Building Code, acceptable solutions and / or approved alternative solutions.

PROJECT TITLE

Reflected Ceiling Plan

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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SCALE	DRAWN BY	DATE
-------	----------	------

	as shown	DJA	Dec 09
--	----------	-----	--------

Do not scale from drawing. Contractor must verify on site.	JOB NO	SHEET	REV
---	--------	-------	-----

before commencing any work.	8/6	A25	Rev A
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FORM 5
BUILDING CONSENT
Section 51, Building Act 2004



Building Consent Number ABA20110103

The Building

Street address of building: 15 Tauroa Valley HAVELOCK NORTH 4130

Legal description of land where building is located: LOT 20 DP 410351 CT 438232

The Owner

Name of owner: Trevor Herbert Taylor, Kathryn Claudette Ingram,
Jeremy Francis Gresson, T K Family Trust

Contact person: C/O AGENT

Mailing address: 605 Warren Street North HASTINGS 4122

Street address/registered office: C/O AGENT

Phone number: Landline: 8735350

Mobile: 0272477939

Daytime: 8735350

After hours: 8776250

Facsimile number: 8782227

First point of contact for communications with the council/building consent authority:

C/O AGENT

Building Work

The following building work is authorised by this building consent:

Install Swimming Pool & Landscaping

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

Attachments

Copies of the following documents are attached to this building consent:

Project Information Memorandum
Issued by Hastings District Council

17 February 2011

CODE COMPLIANCE CERTIFICATE

Section 95, Building Act 2004

SECTION 1

THE BUILDING

Building consent number

ABA20110103

Issued by:

Hastings District Council

Description of Work:

Install Swimming Pool & Landscaping

Street Address of Building:

15 Tauroa Valley HAVELOCK NORTH 4130

Legal Description of land where building is located:

LOT 20 DP 410351 CT 438232

Building Name:

N/A

Location of building within site/block number:

N/A

Level/unit number:

N/A

Current, lawfully established, use:

SWIMMING POOL

Year first constructed:

2011

Intended Specified Life:

Indefinite

SECTION 2

THE OWNER

Name of owner: Trevor Herbert Taylor, Kathryn Claudette Ingram, Jeremy Francis Gresson,
 T K Family Trust

*Contact Person:

Owner's mailing address:

T H Taylor
 15 Tauroa Valley
 Havelock North 4130

Street address/Registered office:

Owner's contact details:

Landline:

Mobile:

After hours:

Facsimile Number:

Email:

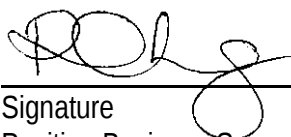
Website:

SECTION 3

CODE COMPLIANCE

The building consent authority named below is satisfied, on reasonable grounds, that -

(a) the building work complies with the building consent; and



Signature

Position Business Support Officer

On behalf of Hastings District Council

24 April 2013

ABA20110103
APPROVED - Site Copy
Hastings District Council
17/02/2011

Self-closing mechanism on door to operate from 150mm with latch at a minimum of 1500mm above the internal floor level.
Windows to open 100mm max.

LOT 20
DP 410351
11870m²
TAUROA ROAD
HAVELOCK NORTH

approximate location of water storage tanks,
check exact location on site.
feed from dwelling downpipes, run 25mm
feed pipe to dwelling for positive pressure
water system for garden water

down supply water storage tank with pump to force
to dwelling, exact location to be determined on site

LOCATION PLAN

Case 1:00000 AG

Pool Fencing Approved By
John Symons Swimming Pool
Safety Officer 17/2/2011

KERMITT ARCHITECT
PO BOX 12247
NAPIER
06 835 6359 T
06 835 6366 F
021 769 623 M
contact@kermitt.co.nz
www.kermitt.co.nz
IN ASSOCIATION WITH
CLARKSON ARCHITECT

SPECIFICATION

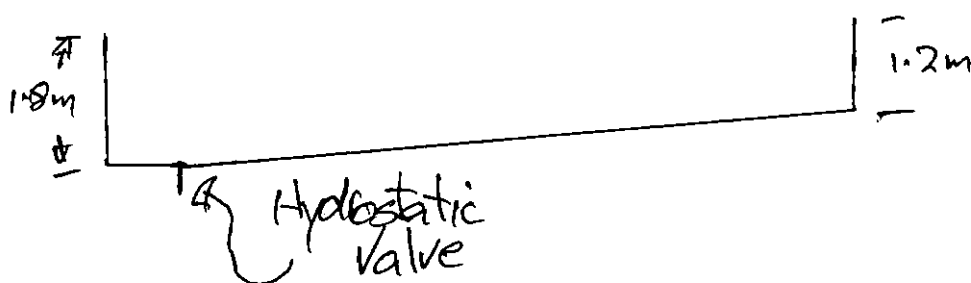
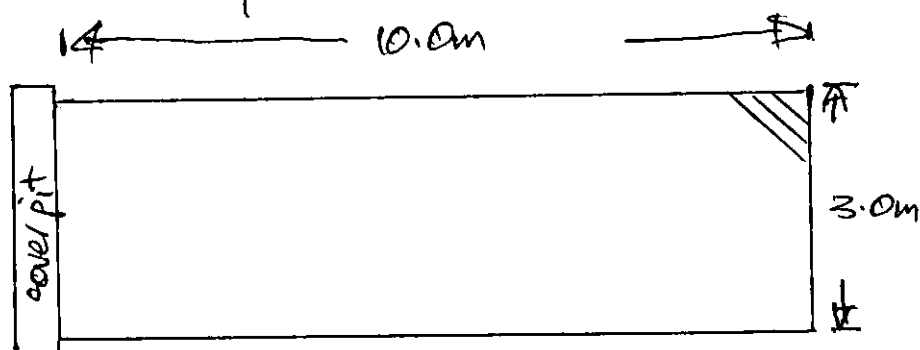
Mayfair fibreglass swimming pool to be built on-site and to comply with the NZ BLD Act 2004.

Water to be filtered through a sand filter and returned to pool via eyeballs to circulate. Backwash from filter to be plumbed to gully trap.

Filling of pool to be disconnected by 25mm air gap on automatic topping tank. Hydrostatic valve to be installed as shown.

Fence Detail

The swimming pool will be enclosed on two sides by a 1.5m block+plaster wall (by others), one side by 1200mm safety glass panels. The house will complete the enclosure with a self-closing device required on the standard door while two windows will require stays as shown on site plan.



Proposed Mayfair pool for T.K. Family Trust
15 Taurua Valley HAI 4130

FORM 5
BUILDING CONSENT
Section 51, Building Act 2004



Building Consent Number ABA20171410

The Building

Street address of building:	15 Tauroa Valley HAVELOCK NORTH 4130
Legal description of land where building is located:	LOT 20 DP 410351 CT 438232
Building name:	NA
Location of building within site/block number:	N/A
Level/unit number:	N/A

The Owner

Name of owner:	Trevor Herbert Taylor, Kathryn Claudette Ingram, Jeremy Francis Gresson
Contact person:	Trevor Taylor
Mailing address:	15 Tauroa Valley, Havelock North 4130
Street address/registered office:	N/A
Landline:	06 8735350
Mobile:	027 2477939
Daytime:	06 8735350
After hours:	N/A
Facsimile number:	N/A
Email address:	Trevor.Taylor@tomoanawarehousing.co.nz

First point of contact

First point of contact for communications with the council/building consent authority:

Full Name:	Ken McIndoe
Mailing address:	PO Box 11065, Hastings North, Hastings 4158
Landline:	06 8708109
Mobile:	027 6856169
Daytime:	027 6856169
After hours:	N/A
Facsimile number:	N/A
Email address:	ken@pro-structure.co.nz

Building Work

The following building work is authorised by this building consent:

Alterations to Building

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

This building consent is subject to the following condition(s):

BCCon5 Agents authorised by the building consent authority are entitled, at all times during normal working hours or while work is being done, to inspect-

- (a) land on which building work is being or is proposed to be carried out; and
- (b) building work that has been or is being carried out on or off the building site; and
- (c) any building.

Compliance Schedule

A compliance schedule is not required for the building.

Attachments

Copies of the following documents are attached to this building consent:

- Inspection(s) to be Undertaken
- Documents for Code Compliance Certificate
- Advisory Notes
- Features Associated with this Project
- Application for Code Compliance Certificate



Matthew Holmes
Position: Building Team Leader Processing
On behalf of Hastings District Council
21/11/2017

Form 7 CODE COMPLIANCE CERTIFICATE

Section 95, Building Act 2004

SECTION 1		THE BUILDING
Building consent number ABA20171410	Issued by: Hastings District Council	
Description of Work: Alterations to Dwelling - Enclose Patio		
Street Address of Building: 15 Tauroa Valley HAVELOCK NORTH 4130		
Legal Description of land where building is located: LOT 20 DP 410351 CT 438232		
Building Name: N/A		
Location of building within site/block number: Tauroa Valley		
Level/unit number: 1		
Current, lawfully established, use: Housing		
Year first constructed: 2010		
Intended Specified Life: Indefinite		

SECTION 2		THE OWNER
Name of owner: Trevor Herbert Taylor, Kathryn Claudette Ingram, Jeremy Francis Gresson		
*Contact Person: Trevor Taylor		
Mailing address: Trevor Taylor 15 Tauroa Valley Havelock North 4130	Street address/Registered office: N/A	

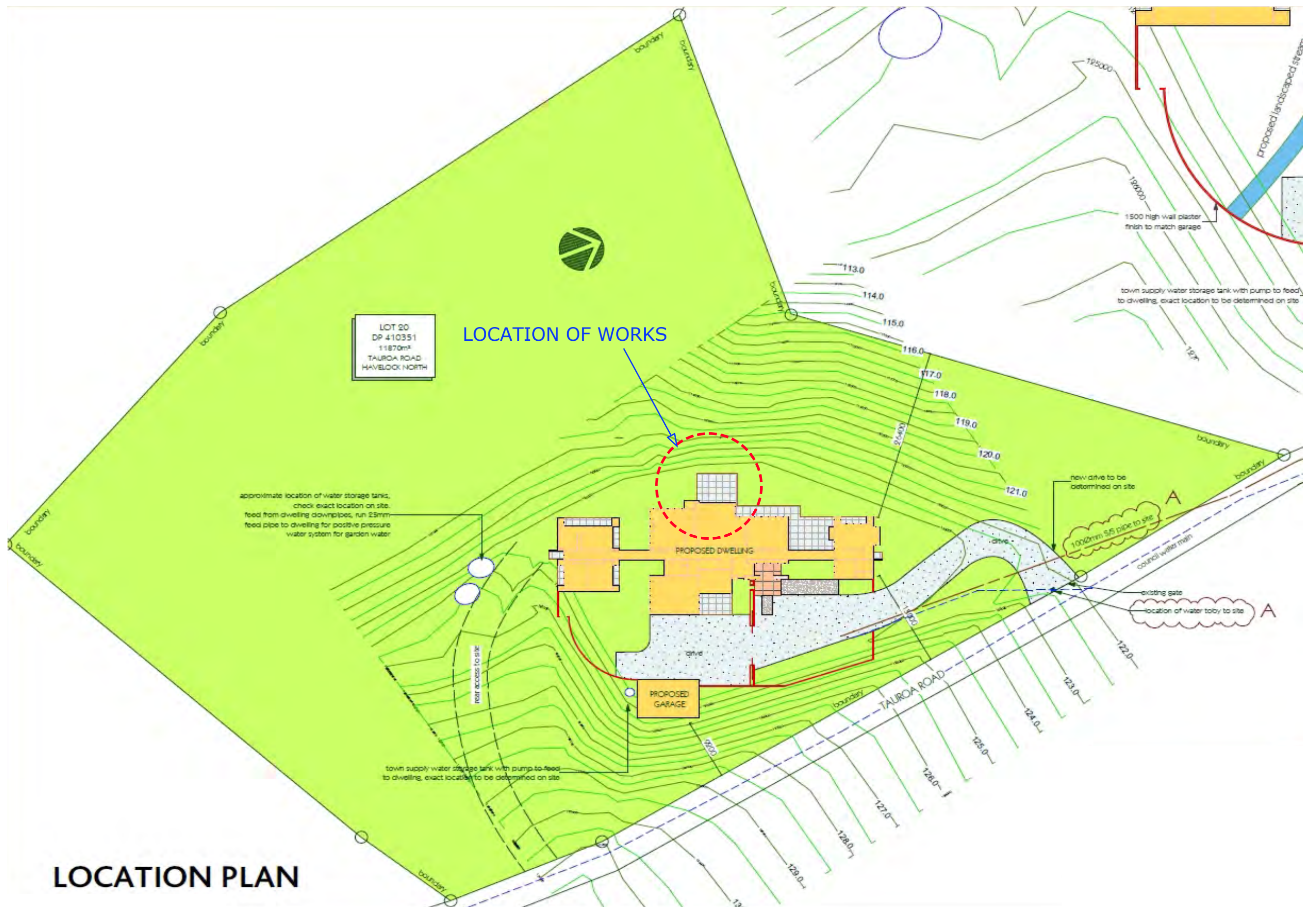
Owner's contact details:

Landline:	06 8735350	Mobile:	027 2477939
After hours:	06 8776250	Facsimile Number:	06 8735350
Email:	Trevor.Taylor@tomoanawarehousing.co.nz		
		Website:	

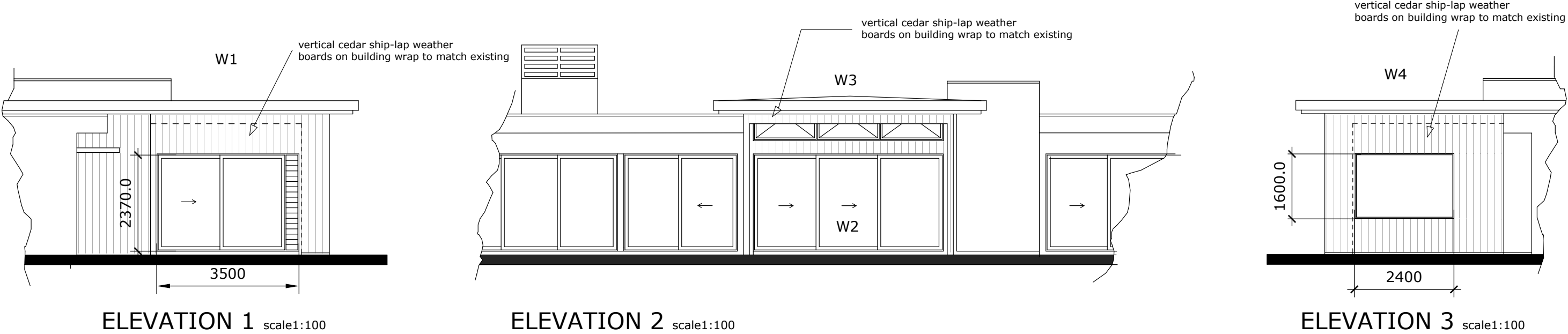
SECTION 3	CODE COMPLIANCE
The building consent authority named below is satisfied, on reasonable grounds, that -	
(a) The building work complies with the building consent.	

Kerry O'Halloran

Signature
 Position Business Support Officer
 On behalf of Hastings District Council
 05 July 2018



PRO - STRUCTURE DESIGN & BUILD - CONSTRUCTION Ph: 06 870 8109 Fax: 06 870 8108 204 Hastings Street (North), PO Box 11065, Hastings 4158 email: admin@pro-structure.co.nz - www.pro-structure.co.nz	 LICENSED BUILDING PRACTITIONER www.lbb.govt.nz LINA CUFFE TK FAMILY TRUST PROPOSED ENCLOSURE OF EXISTING PATIO AT LOT 20 DP 410351, TAUROA RD., HAVELOCK NORTH Ken McIndoe Architectural Designer for Pro-Structure Limited- DESIGN 2 - LICENSED BUILDING PRACTITIONER - BP 107650 Notwithstanding what is shown on the plans and specifications, all building works shall comply with the NZ Building Code, Acceptable Solutions and / or approved alternative solutions. Do Not Scale from the drawing-verify on site or by written dimension or by calculation- if in doubt please ask.	SITE PLAN	SCALE As Shown	DRAWING: 01
			DRAWN: KMc	CHECKED: KMc
			PRELIMINARY	
© Copyright retained by Pro-Structure Limited (These documents are not to be used for any purpose by others without the written consent of Pro-Structure Limited)				



ELEVATION 1 scale1:100

ELEVATION 2 scale1:100

ELEVATION 3 scale1:100

SPECIFICATION:

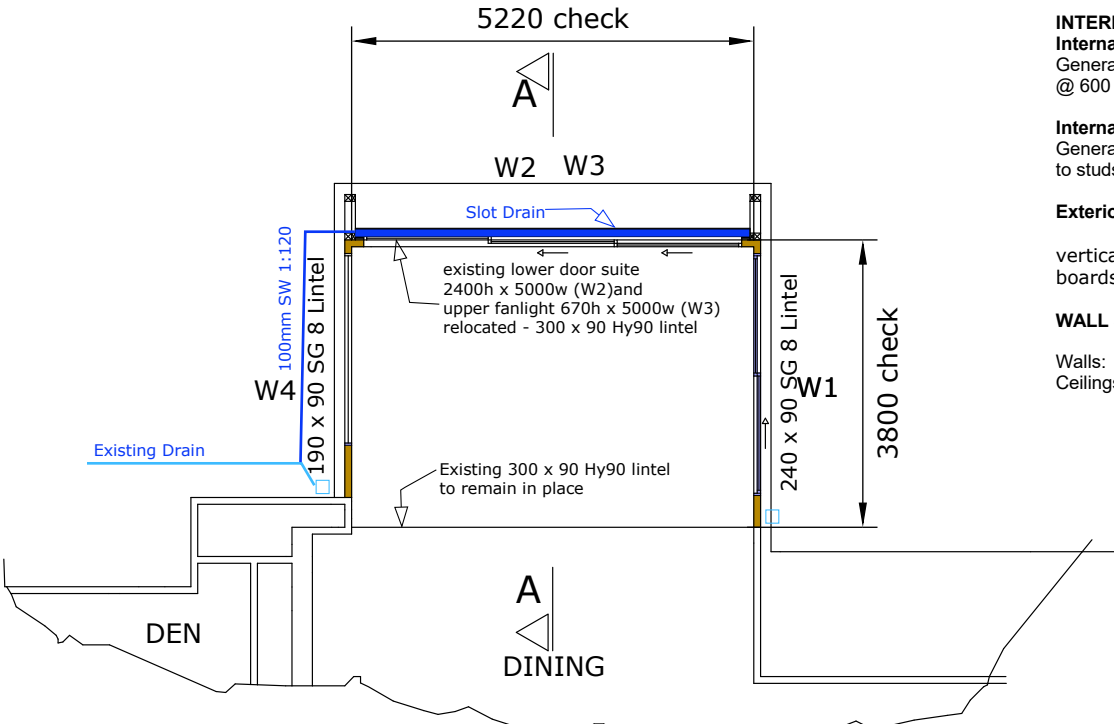
Infill Non-Load bearing walls up to 2.7m high
90 x 45mm (H1.2) studs @ 600crs with 90 x 45mm (H1.2) dwangs @ 800 crs max

INTERIOR LININGS:
Internal Ceiling Linings:
Generally 13mm Gib board lining on 70 x 35mm H1.2 VSG 8 @ 600 crs max spacings,

Internal Wall Linings:
Generally 10mm Gib board wall linings direct fixed to studs

Exterior cladding:
vertical cedar ship-lap weather boards on building wrap to match existing

WALL & CEILING INSULATION:
Walls: Pink®Batts R2.4® Walls
Ceilings: Pink®Batts R3.6® Ceiling



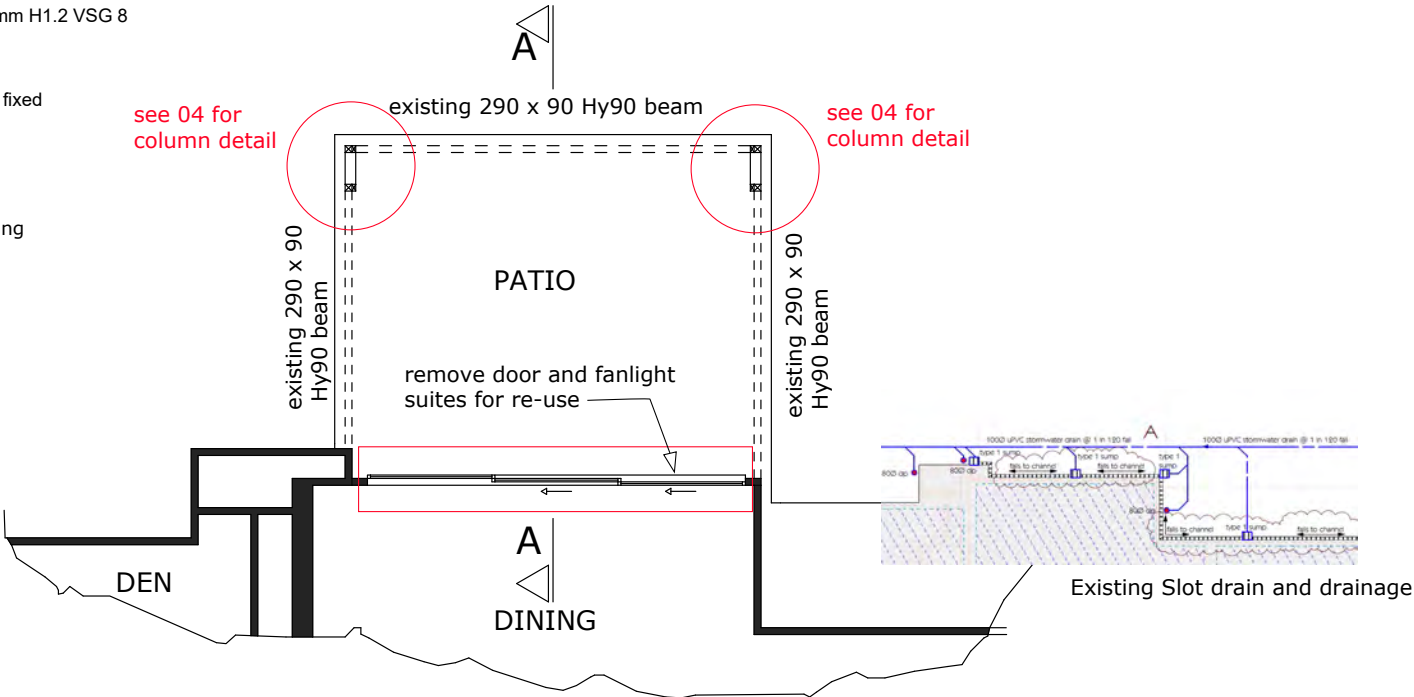
PLAN AS ALTERED

scale1:100

Table 8.9 – Lintel supporting roof only for all wind zones – SG 8 (see figure 8.7)

Loaded dimension* of lintel (m)	Maximum span for lintel sizes listed below (m)									
	width x thickness (mm)									
	90 x 70	90 x 90	140 x 70	140 x 90	190 x 70	190 x 90	240 x 70	240 x 90	290 x 70	290 x 90
Light roof	2	1.2	1.4	2.0	2.1	2.7	2.9	3.4	3.6	4.0
	3	1.1	1.2	1.7	1.9	2.4	2.6	3.0	3.3	3.7
	4	1.0	1.1	1.5	1.8	2.1	2.4	2.7	3.1	3.2
	6	0.8	1.0	1.3	1.6	1.8	2.1	2.2	2.7	3.3
Heavy roof	2	1.0	1.0	1.5	1.6	2.1	2.3	2.6	2.9	3.2
	3	0.9	0.9	1.4	1.5	1.9	2.0	2.4	2.6	2.9
	4	0.8	0.9	1.3	1.4	1.7	1.9	2.2	2.4	2.6
	6	0.7	0.8	1.1	1.2	1.5	1.7	1.9	2.1	2.3

* Loaded dimension is defined in figure 1.3.
NOTE – Members 70 mm and 90 mm thick may be substituted with built-up members sized and nailed in accordance with 2.4.4.7.

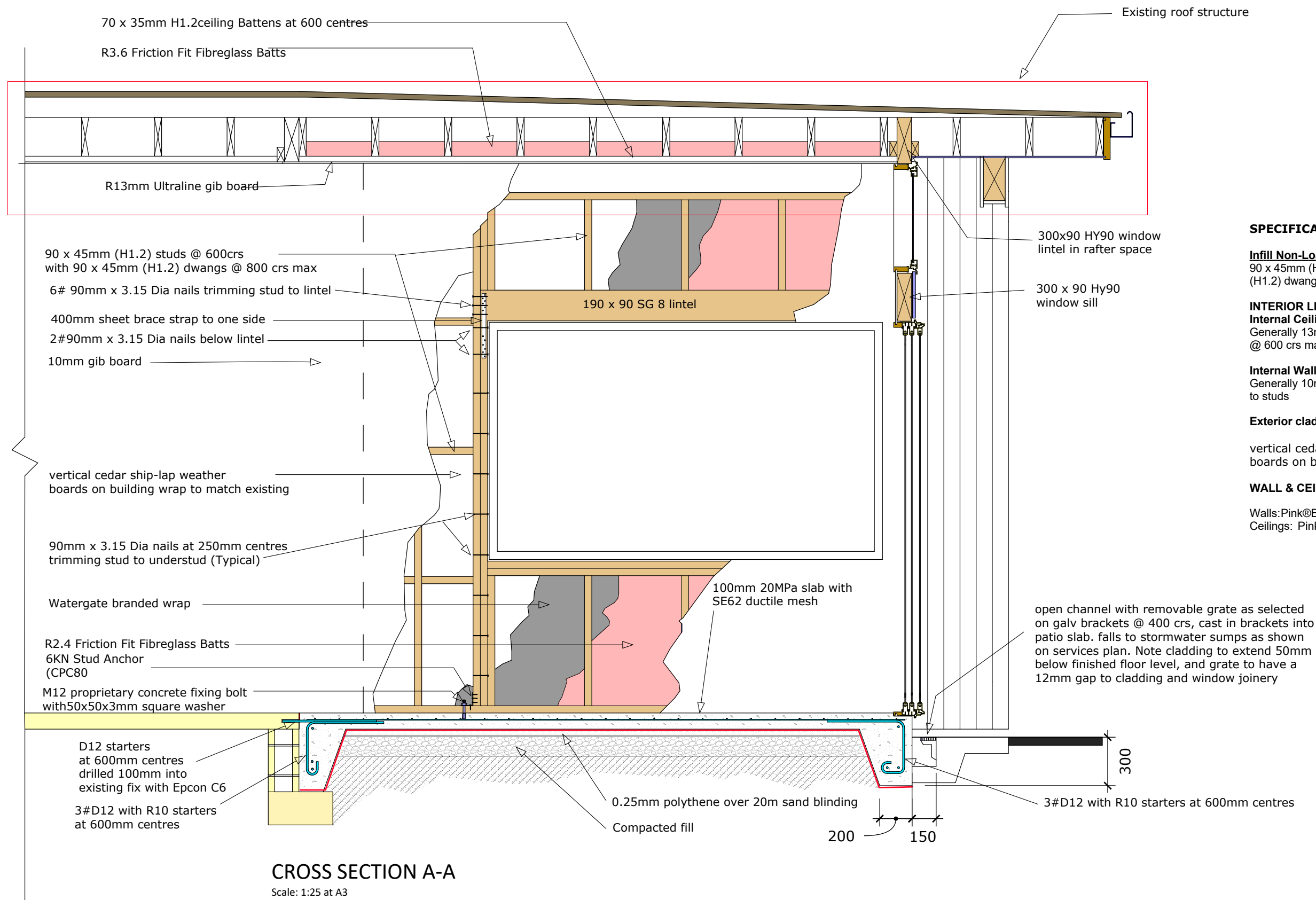


PLAN AS EXISTING

scale1:100

PRO - STRUCTURE DESIGN & BUILD - CONSTRUCTION Ph: 06 870 8109 Fax: 06 870 8108 204 Hastings Street (North), PO Box 11065, Hastings 4158 email: admin@pro-structure.co.nz - www.pro-structure.co.nz	 TK FAMILY TRUST PROPOSED ENCLOSURE OF EXISTING PATIO AT LOT 20 DP 410351, TAUROA RD., HAVELOCK NORTH Ken McIndoe Architectural Designer for Pro-Structure Limited- DESIGN 2 - LICENSED BUILDING PRACTITIONER - RP 107650 Notwithstanding what is shown on the plans and specifications, all building works shall comply with the NZ Building Code, Acceptable Solutions and / or approved alternative solutions. Do Not Scale from the drawing-verify on site or by written dimension or by calculation- if in doubt please ask.	PLANS AND ELEVATIONS	SCALE As Shown	DRAWING: 02
			DRAWN: KMc	CHECKED: KMc
			DATE: SEPTEMBER 2017	TK FAM - 2017

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SPECIFICATION:

Infill Non-Load bearing walls up to 2.7m high
90 x 45mm (H1.2) studs @ 600crs with 90 x 45mm (H1.2) dwangs @ 800 crs max

INTERIOR LININGS:

Internal Ceiling Linings:
Generally 13mm Gib board lining on 70 x 35mm H1.2 VSG 8 @ 600 crs max spacings,

Internal Wall Linings:

Generally 10mm Gib board wall linings direct fixed to studs

Exterior cladding:

vertical cedar ship-lap weather boards on building wrap to match existing

WALL & CEILING INSULATION:

Walls: Pink®Batts R2.4® Walls
Ceilings: Pink®Batts R3.6® Ceiling

PRO - STRUCTURE DESIGN & BUILD - CONSTRUCTION Ph: 06 870 8109 Fax: 06 870 8108 204 Hastings Street (North), PO Box 11065, Hastings 4158 email: admin@pro-structure.co.nz - www.pro-structure.co.nz		LICENSED BUILDING PRACTITIONER  www.dbh.govt.nz TK FAMILY TRUST PROPOSED ENCLOSURE OF EXISTING PATIO AT LOT 20 DP 410351, TAUROA RD., HAVELOCK NORTH Ken McIndoe Architectural Designer for Pro-Structure Limited- DESIGN 2 - LICENSED BUILDING PRACTITIONER - BP 107650 Notwithstanding what is shown on the plans and specifications, all building works shall comply with the NZ Building Code, Acceptable Solutions and / or approved alternative solutions. Do Not Scale from the drawing-verify on site or by written dimension or by calculation- If in doubt please ask.	CROSS SECTION A-A		SCALE As Shown	DRAWING: 03
				DRAWN: KMc	CHECKED: KMc	
PRELIMINARY	© Copyright retained by Pro-Structure Limited <i>[These documents are not to be used for any purpose by others without the written consent of Pro-Structure Limited]</i>			DATE: SEPTEMBER 2017	TK FAM - 2017	

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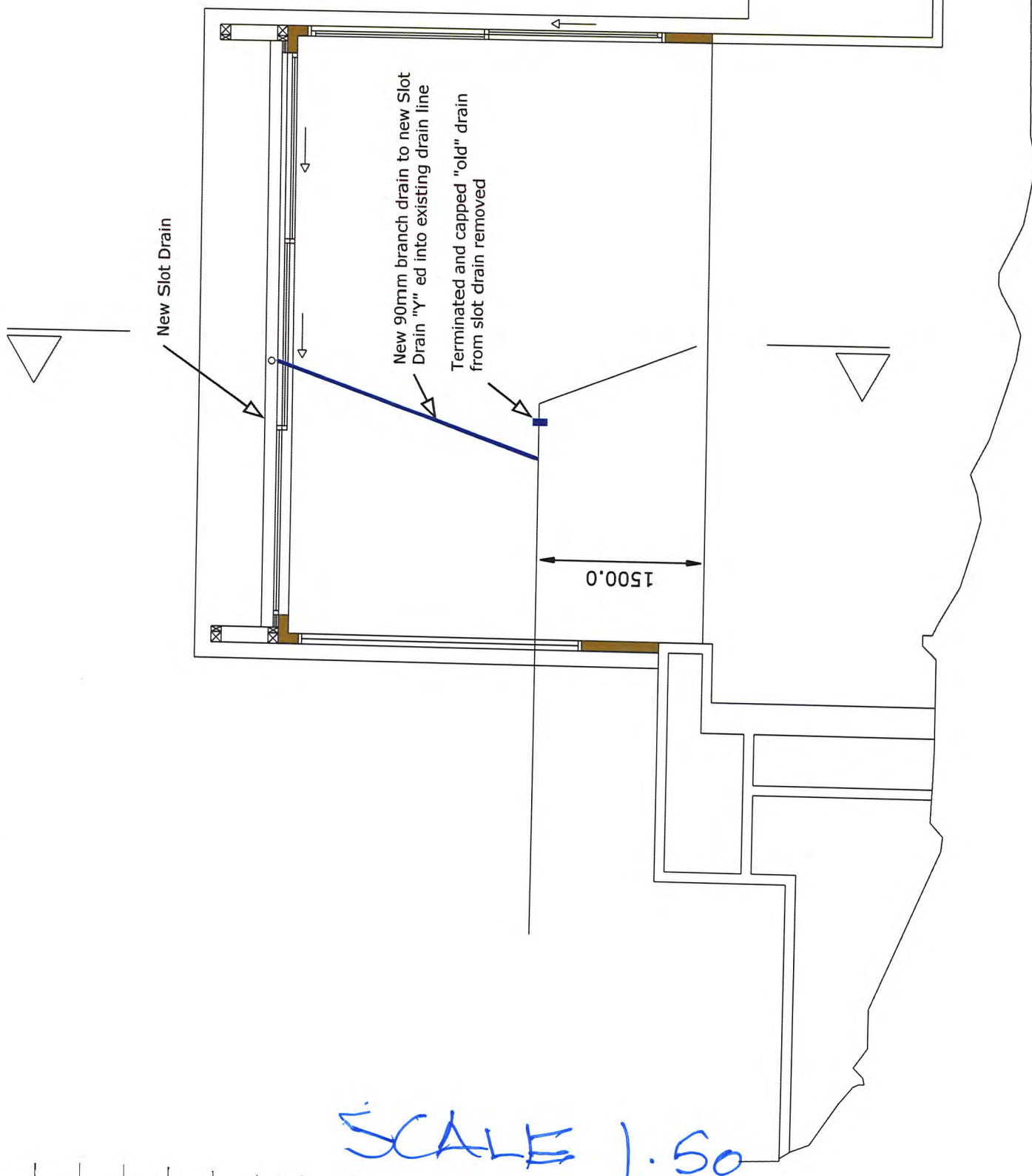
As-Built Drainage Plan

ABA No:	20171410	Property ID	101091
Owner:	Trevor Herbert Taylor		
Address:	15 Tauroa Valley		
Drainlayer:		Reg. No.	
Sign:		Date:	



HASTINGS
DISTRICT
COUNCIL

A
NORTH



Minimum Standards: 1. Drawn to Scale with a Ruler. 2. Drawn in Ink. 3. Drain Fully Dimensioned and Labelled. 4. Road Indicated. 5. Connection Points Indicated. 6. North Point Indicated. 7. To be Supplied at Time of Inspection.

Decision A (Subdivision):

Pursuant to Rule 15.1.7.1 of the Hastings District Plan (Operative June 2003) and Section 104A of the Resource Management Act 1991, consent is Granted to Raumati Trust to subdivide Part Lot 1 DP 16304 and Lot 4 DP 318429 and Lot 2, 5 DP 324634 (CT 99494) (Tauroa Road, Havelock North) to create 6 rural residential lots as shown on the scheme plan provided (Surveyor's Reference: 7482, Dated: 13/03/2006; RMA20060118).

Subject to the Following Conditions:**General**

1. That the Right of Way easements shown as 'A', 'B', and 'C' be granted and reserved as a memorandum of easements on the face of the Land Transfer Plan in accordance with the schedule endorsed on the scheme plan.
2. That the Right to Convey water easement shown as 'E' be granted and reserved as a memorandum of easements on the face of the Land Transfer Plan in accordance with the schedule endorsed on the scheme plan.
3. That stormwater easements shall be granted and reserved as a memorandum of easements on the face of the Land Transfer Plan disposing to the valley floor of Lot 16 in favour of Lots 1, 2, 15, 18, 19 and 20, to the satisfaction of the Drainage services Manager, Infrastructure, and the Manager, Resource Management, Hastings District Council.
4. That Lot 17 shall be vested to Hastings District Council as Road.
5. That Lot 16 hereon and Lot 5 DP 324634 (Residue CFR 994494) be held in the same Computer Freehold Register.

Reference: 577223

Roading

6. That the applicant shall submit an engineering design of the road within proposed Lot 17 (inclusive of drainage, signage, roadmarking and lighting) for the approval of the Manager, Resource Management, Hastings District Council.
7. That the applicant shall construct the road within proposed Lot 17 (inclusive of drainage, signage, roadmarking and lighting) in accordance with the Hastings District Engineering Code of Practice (November 1997), or the approved design where this varies from the Code of Practice.
8. That the applicant shall construct the vehicle accesses on road reserve to serve Proposed Lots 1, 2, and 15 in accordance with the Hastings District Engineering Code of Practice (November 1997).
9. That the applicant shall construct the proposed vehicular access on road reserve (inclusive of drainage, signage, roadmarking and lighting) serving Proposed Lots 18, 19, 20, and Right of Way's 'A', 'B', 'C' and 'D' in accordance with the Hastings District Engineering Code of Practice (November 1997), or the approved design where this varies from the Code of Practice.
10. That the applicant shall construct Proposed Rights of Way 'A', 'B', 'C', and 'D' (inclusive of drainage, signage, roadmarking and lighting) in accordance with the Hastings District Engineering Code of Practice (November 1997), or the approved design where this varies from the Code of Practice.

11. That the applicant shall submit as-built plans, in accordance with the requirements of Section 2.7.6 of the Hastings District Engineering Code of Practice (November 1997), of the proposed vehicular access on road reserve, and all associated works to Council once construction is completed and shall be certified complete and correct by a chartered engineer or other appropriately qualified person, to the satisfaction of the Manager, Resource Management prior to a certificate pursuant to section 224 of the Resource Management Act 1991 being issued.
12. That the applicant shall meet all of the costs associated with the provision of street and traffic signage and lighting.

Roading Levy

13. That the applicant shall pay Council a District Roding Fee of \$1795.50 (incl GST) (\$299.25 x 6) prior to the issue of a certificate pursuant to Section 224 of the Resource Management Act 1991.

Servicing

14. That the applicant enters into a supply agreement with Hastings District Council to service the subdivision from the public water supply. That the applicant shall pay to the Council such contributions for the construction of the public water supply as specified in that agreement.
15. That the applicant enters into a supply agreement with Hastings District Council to service the subdivision from the public waste water system. That the applicant shall pay to the Council such contributions for the construction of the public waste water system as specified in that agreement.
16. That the design of the low pressure sewer system shall be carried out by a suitably qualified engineer, and shall demonstrate that effluent disposed from each lot can remain in an aerobic state to the nominated discharge point in Tauroa Road to the satisfaction of the Drainage Services Manager, and the Manager, Resource Management.
17. That Stormwater from each Lot shall be piped and directed to the valley floor of Lot 16, or part of the public stormwater system in Lot 17 (to be vested as public road) to the satisfaction of the Drainage Services Manager, Infrastructure, and the Manager, Resource Management.
18. That the applicant shall submit to Council a design, including construction drawings, detailing the water, sewer, and stormwater services within the subdivision for approval, prior to construction.
19. That the design of the water, sewer and stormwater services (including separate connections to the individual lots) shall be in accordance with the Hastings District Council Engineering Code of Practice (November 1997, and amendments to the date of this approval) unless an alternative design has been approved by the Manager, Resource Management, Hastings District Council.
20. That the engineering design for water, sewer and stormwater services shall be undertaken by a registered and professionally qualified Engineer experienced in water, sewer and stormwater services design and construction.
21. That fire hydrants be installed on the water main in accordance with the Hastings District Council's Engineering Code of Practice (November 1997 and amendments to the date of this approval).
22. That the designer shall issue a "Design & Design Review" producer statement for the services design and review, the applicant shall supply these statements to Council.

23. That the applicant shall construct the water, sewer and stormwater services (including separate connections to the individual lots for water and sewer) in accordance with the approved design.
24. That all valves and hydrants shall be marked in accordance with Section 2.5.5.6 of the Hastings District Council Engineering Code of Practice with all hydrant box lids painted yellow, yellow triangle markings offset from the centreline and blue reflectors on the centreline for all hydrants, and yellow kerb markings for fire hydrants behind the kerb.
25. All water connections to individual lots are to include an Acuflo 9005 type toby and manifold complete with Hastings District Council service lids, to the satisfaction of the Water Services Manager.
26. That the water and sewer services shall be tested in accordance with the Hastings District Council Engineering Code of Practice in the presence of a Council Officer.
27. That the contractor(s) shall issue a "Construction" producer statement for the services constructed and the applicant shall supply this statement to Council.
28. That as-built plans and data, in accordance with the requirements of Section 2.7.6 of the Hastings District Council Engineering Code of Practice (Nov 1997) shall be submitted to Council once construction is completed and shall be certified as a complete and correct record by a registered and professionally qualified engineer. Data on water, sewer and stormwater assets is required to be submitted to Council in electronic format and that an electronic data book (e-book) is available for this purpose. As built data shall be submitted to council, at least two weeks prior to any application for Certification under Section 224 of the Resource Management Act 1991.
29. That closed circuit television (CCTV) inspection records (video), in accordance with Council's CCTV technical specification, shall be submitted to Council for all sewer mains, and all stormwater mains up to 600mm diameter.
30. That a registered and professionally qualified Engineer shall certify that the works have been designed and constructed in accordance with the approved design.
31. That the supervising engineer shall issue a "Construction Review" producer statement for the services construction, the completeness and accuracy of the as built data, and the applicant shall supply this statement to Council.
32. That the applicant shall submit Form 4-5 "Certification of Construction and Completion of Engineering Works for Subdivision" (Appendix 4.0-1 of the Hastings District Plan) from a registered and professionally qualified Engineer, to the Manager, Resource Management, Hastings District Council, on the completion of the engineering works.
33. That the connection of the subdivision water, sewer and stormwater services with existing or proposed services will be made at the applicant's expense and constructed by a contractor approved by Hastings District Council for constructing connection to its networks.
34. That asset's as required by the Hastings District Council shall be vested in the Hastings District Council. And that approval for vesting of any assets is given by the appropriate Hastings District Council Asset Manager.
35. That easements for drainage and access purposes along the existing public drains be created in favour of Hastings District Council and shown as a memorandum of easements on the face of the Land Transfer Plan. Dimensions for such easements are to be in accordance with 2.3.6.2 of the Hastings District Council Engineering Code of Practice (November 1997, and amendments to the date of this approval).

36. This site may require a low pressure sewer system as part of any building to be constructed. Any effluent discharge that is held on site as part of any sewer disposal design system shall remain in an aerobic state and shall not contain material that could pose a risk to the health and safety of any person undertaking maintenance, cause odour or other public nuisance, or damage the sewer network. The low pressure system will require to be certified by a suitably qualified engineer.
37. That a Consent Notice pursuant to Section 221 of the Resource Management Act 1991 shall be registered to secure the performance of Condition number 36. The notice shall be registered at the subdivider's expense against the certificate of title to issue for Lots 1, 2, 15, 18, 19 and 20 hereon.
38. No buildings shall be erected below RL48 on this site.
39. That a Consent Notice pursuant to Section 221 of the Resource Management Act 1991 shall be registered to secure the performance of Condition number 38. The notice shall be registered at the subdivider's expense against the certificate of title to issue for Lot 16 hereon.

Sediment Control

40. That the applicant shall submit a sediment control plan by an appropriately qualified person to council, for approval by the Manager, Resource Management, prior to the commencement of any work on the site. The plan shall detail how sediment and erosion controls will be carried out at the site in accordance with current engineering best practice. A statement shall be included with the plan stating the author's qualifications and experience in this area.
41. That the applicant shall install sediment and erosion controls in accordance with the approved plan prior to the commencement of the earthworks and that these controls shall be maintained throughout the period of the works. Any areas of fill shall be grassed immediately on completion of the earthworks and maintained until stabilised. The location and dimensions of any area of fill shall be identified and advised to the Hastings District Council.
42. That the applicant shall maintain the sediment and erosion controls during construction in accordance with the approved plan.

Geotechnical

43. That no earthworks, building development or associated works, services or structures shall be undertaken on site except in accordance with the recommendations of the geotechnical review by Myles Andrews, MWH New Zealand Limited, dated the 30th January 2007 (Council file TRIM 96496#056) and dated the 14th December 2006 (Council file TRIM 96496#049) to the satisfaction of the Manager, Resource Management, Hastings District Council (this report is held by the Hastings District Council).

These recommendations are as follows:

- A. All effluent and wastewater disposal shall be to the Hastings District Council public reticulated system;
- B. All buildings shall be setback at least 5 metres from any slope steeper than 25°;
- C. Site specific testing of foundations and design shall be undertaken on each site prior to any building development;
- D. All stormwater disposal shall be piped to the valley floor (of Lot 16) and shall avoid infiltration to areas of landslip.

44. That a Consent Notice pursuant to Section 221 of the Resource Management Act 1991 shall be registered to secure the performance of Condition number 43. The notice shall be registered at the subdivider's expense against the certificate of title to issue for Lots 1, 2, 15, 18, 19 and 20 hereon.
45. That any earthworks, building development or associated works, services or structures shall be restricted to the identified building platforms on Lots 1, 2 or 15 (Plan Reference: Shanley and Co. Plan 7482 February 2007, Council file TRIM 96496#059) until the stability of the goatshed landslide is monitored and established (Council file TRIM 96496#056);
46. That a Consent Notice pursuant to Section 221 of the Resource Management Act 1991 shall be registered to secure the performance of Condition number 45. The notice shall be registered at the subdivider's expense against the certificate of title to issue for Lots 1, 2 and 15 Hereon.

Tree Planting

47. The applicant shall submit for approval a tree planting plan showing all the trees planted on Lot 16 that provide slope stability and that nullify the stormwater runoff to the Mangarau Stream from the development of Lots 1, 2, 15, 18, 19 and 20 (Council file TRIM 96496#036 and 96496#042).

The Tree Planting Plan shall be referenced as: McHardy Tauroa Tree Planting Plan.

The Tree planting plan requires the approval of the Drainage Services Manager, Infrastructure, and the Manager, Resource Management, prior to the issue of a certificate pursuant to Section 224 of the Resource Management Act 1991. The tree planting plan shall demonstrate as a minimum:

- A. The areas of Lot 16 subject to stability and runoff planting;
- B. The minimum number of trees that are to be maintained;
- C. Identification of the range of tree species planted.

48. That the area, species and number of trees identified on the attached plan referenced: McHardy Tauroa Tree Planting Plan) shall be maintained to the satisfaction of the Hastings District Council.

The tree plantings provide slope stability for, and; nullify the effects of stormwater runoff from Lots 1, 2, 15, 18, 19 and 20 of subdivision consent RMA20060118.

The maintenance of the trees planted means; the replacement of any dangerous, dead or dying matter; ensuring the minimum number of trees identified remain, and; the general preservation of the trees to a healthy standard.

49. That a Consent Notice pursuant to Section 221 of the Resource Management Act 1991 shall be registered to secure the performance of Condition number 48. The notice shall be registered at the subdivider's expense against the certificate of title to issue for Lot 16 Hereon. The plan approved by Hastings District Council and referenced as: McHardy Tauroa Tree Planting Plan, shall be attached to this consent notice.
50. The area of trees shown on the attached plan (referenced: McHardy Tauroa Tree Planting Plan) are required to be retained and maintained in order to provide slope stability for, and; nullify the effects of stormwater created by Lots 1, 12, 15, 18, 19, and 20 hereon, this site. Should the owners of Lots 1, 2, 15, 18, 19 and 20 hereon become aware of any reduction in the amount of trees in this area, please contact Hastings District Council Planning department immediately.

51. That a Consent Notice pursuant to Section 221 of the Resource Management Act 1991 shall be registered to secure the performance of Condition number 50. The notice shall be registered at the subdivider's expense against the certificate of title to issue for Lots 1, 2, 15, 18, 19, and 20 Hereon. The plan approved by Hastings District Council and referenced as: McHardy Tauroa Tree Planting Plan, shall be attached to this consent notice.

With the Reasons for this Decision Being:

1. Conditions 1 ensures each lot has legal access to the roading network.
2. Condition 2 ensures that the water easement agreed by Council and Applicant is provided.
3. Condition 3 ensures each site can provide legal disposal of stormwater to Lot 16.
4. Condition 4 ensures that the new road constructed will be vested to Council.
5. Condition 5 ensures that the balance lot remains amalgamated with a Lot that forms part of the residue Certificate of Title.
6. Conditions 6 to 12 ensure that all sites can be accessed in a safe and efficient manner.
7. Condition 13 helps to meet demands on the District Roding Infrastructure from traffic generated by the creation of additional lots capable of further development.
8. Conditions 14 to 42 ensure that each site can be serviced for water supply, sewer disposal and stormwater disposal.
9. Conditions 43 to 46 ensure any potential instability hazards can be mitigated.
10. Conditions 47 to 51 ensure that all the trees planted across Lot 16 that help provide stability to the sites created, and nullify the additional stormwater created by the new sites, will be maintained to continue to aid the mitigation of stability and stormwater effects.
11. The proposed subdivision is unlikely to have any adverse effects on the environment in that:
 - A. The risk of natural hazards due to land instability can be mitigated by the geotechnical conditions imposed.
 - B. Six additional sites capable of being serviced will be created.
 - C. The sites created will be suitable for a range of uses permitted by the Plan.
12. The proposed subdivision is consistent with the Objectives, Policies and other provisions of the Hastings District Plan in that the subdivision aspect of the proposal is a controlled activity.
13. The proposed subdivision meets the requirements of the Resource Management Act 1991.

Decision B (Land use yard waiver):

Pursuant to Rule 7.7.3 of the Hastings District Plan (Operative June 2003) and Section 104C of the Resource Management Act 1991, consent is Granted to Raumati Trust, to establish house sites on Lots 1, 18, and 20 in lieu of the 15m and 30m setback distances required (as shown on Plan '7482' amended February 2007) at Tauroa Road being (prior to subdivision) Part Lot 1 DP 16304 and Lot 4 DP 318429 and Lot 2, 5 DP 324634 (CT 99494).

Subject to the following conditions:

1. That the development proceeds in accordance with the plans and information submitted in the application (ref: Tauroa Road, Property ID: 96496#059, Surveyor's Reference: 7482, Resource Consent RMA20060118, amended scheme plan dated February 2007). In particular that:
 - A. Any building constructed on the building platform identified on Lot 1 shall be no closer than 5 metres from the northern boundary of the site;
 - B. Any building constructed on the building platform identified on Lot 18 shall be no closer than 5 metres from the northern boundary of the site;
 - C. Any building constructed on the building platform identified on Lot 20 shall be no closer than 10 metres from the northern boundary of the site.

With the reasons for this decision being:

1. No persons other than the applicant are considered as Affected Persons.
2. The adverse effects of this proposal are minor in that:
 - A. The proposed building platforms are unlikely to detract from the general open character and amenity of the area in that the platforms in question meet the front yard requirements for all sites;
 - B. The building platform on Lot 1 is setback at least 37.5m from the next closest building platform within the subdivision;
 - C. The building platform on Lot 18 is setback at least 55m from the next closest building platform within the subdivision;
 - D. The position of the building platforms on Lots 1, 18 and 20, will not result in a clutter effect of buildings when considered in the context of the remaining proposed building platforms and the existing dwellings in Tauroa Road. The effect on the open character will be limited to the internal arrangement of the subdivision which provides a good level of separation between building platforms;
 - E. With regard to the position of the building platform on Lot 20, the effect on open character will be limited to the applicants rural balance site;
 - F. The building platform on Lot 20 will also be separated from Rural Zone activities by a Right of Way serving the Tauroa Reservoir, and a fence on the northern side of the intervening Right of Way that lines the top of the ridge with a steep incline to the north that does not easily support any intense farming activities that could occur.
3. The proposal is consistent with the outcomes of District Plan in that:
 - A. The building platforms will not compromise the open character and amenity of the Rural Residential Zone.
4. The subdivision is unlikely to have an adverse visual effect on the local and wider vicinity

5. The building platforms are unlikely to result in conflicts between adjoining landuses.
6. The application meets the requirements of the Resource Management Act 1991.

Recommended by:

Shane Lambert
ENVIRONMENTAL PLANNER (CONSENTS)

Decision issued under Delegated

Authority by:

Phil Evans
TEAM LEADER ENVIRONMENTAL CONSENTS
RESOURCE MANAGEMENT

Date:

17th May 2007

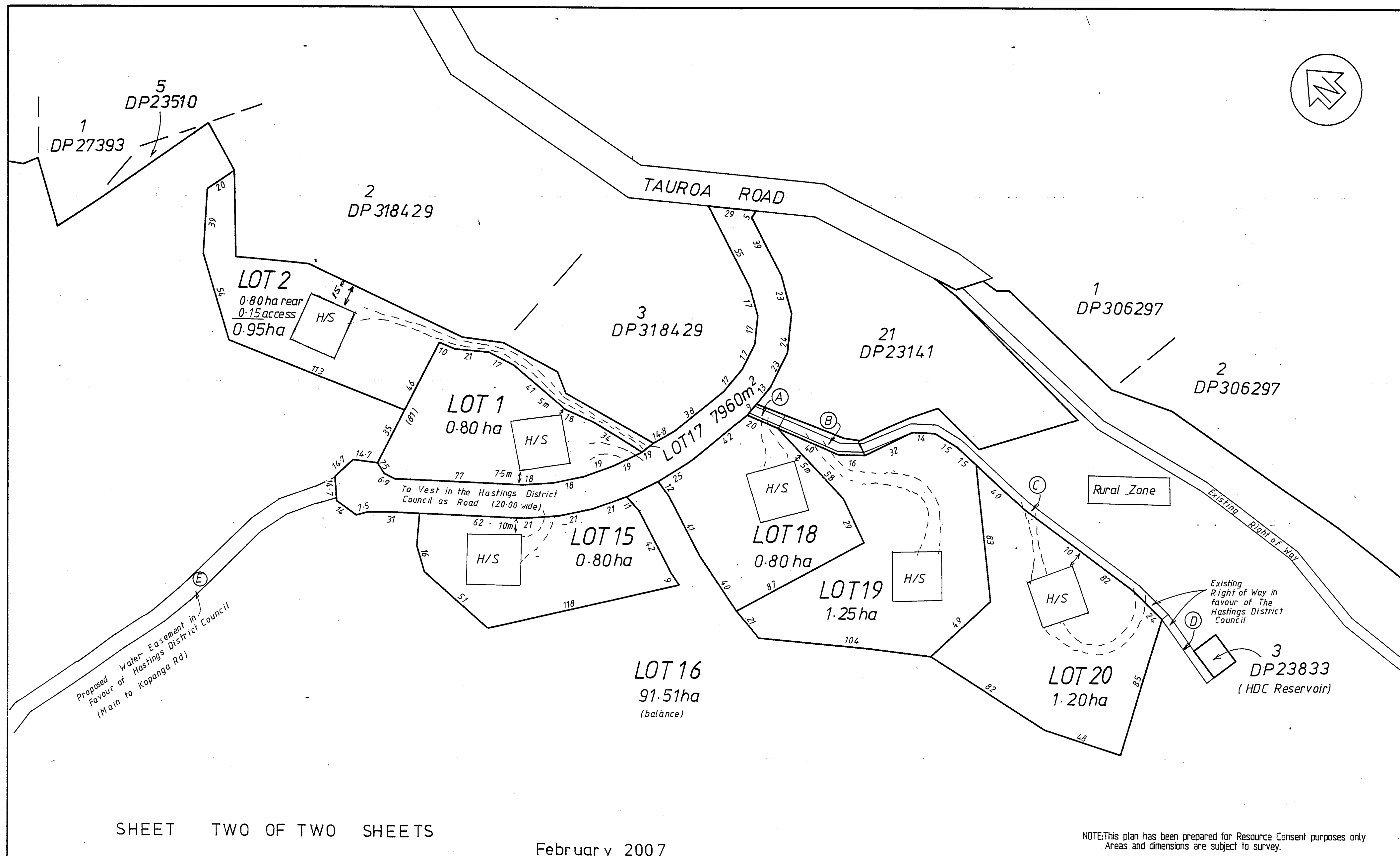
Advisory Notes for Information Purposes:

1. At the time of applying for Certification under Sections 223 and 224(c) of the Resource Management Act 1991, the following fees may be payable under Council's Schedule of Resource Management Fees and Charges (*Please Note: These fees are correct at the date of the consent, and are subject to change*):

- Section 223 certification – Sealing of Survey Plans \$70
- Section 224 certification – Survey Plans (where 223 and 224 certification are applied for together, this fee will also apply):
 - o For Subdivisions of 10 or less lots \$130
- Consent Notice (Section 221 of RMA) \$80 (per notice)
- Roading Engineer Check for 224(c) Certificate:
 - o For Subdivisions of between 3 and 10 lots \$200
- Service Engineer Check for 224(c) Certificate:
 - o For Subdivisions of between 3 and 10 lots \$200

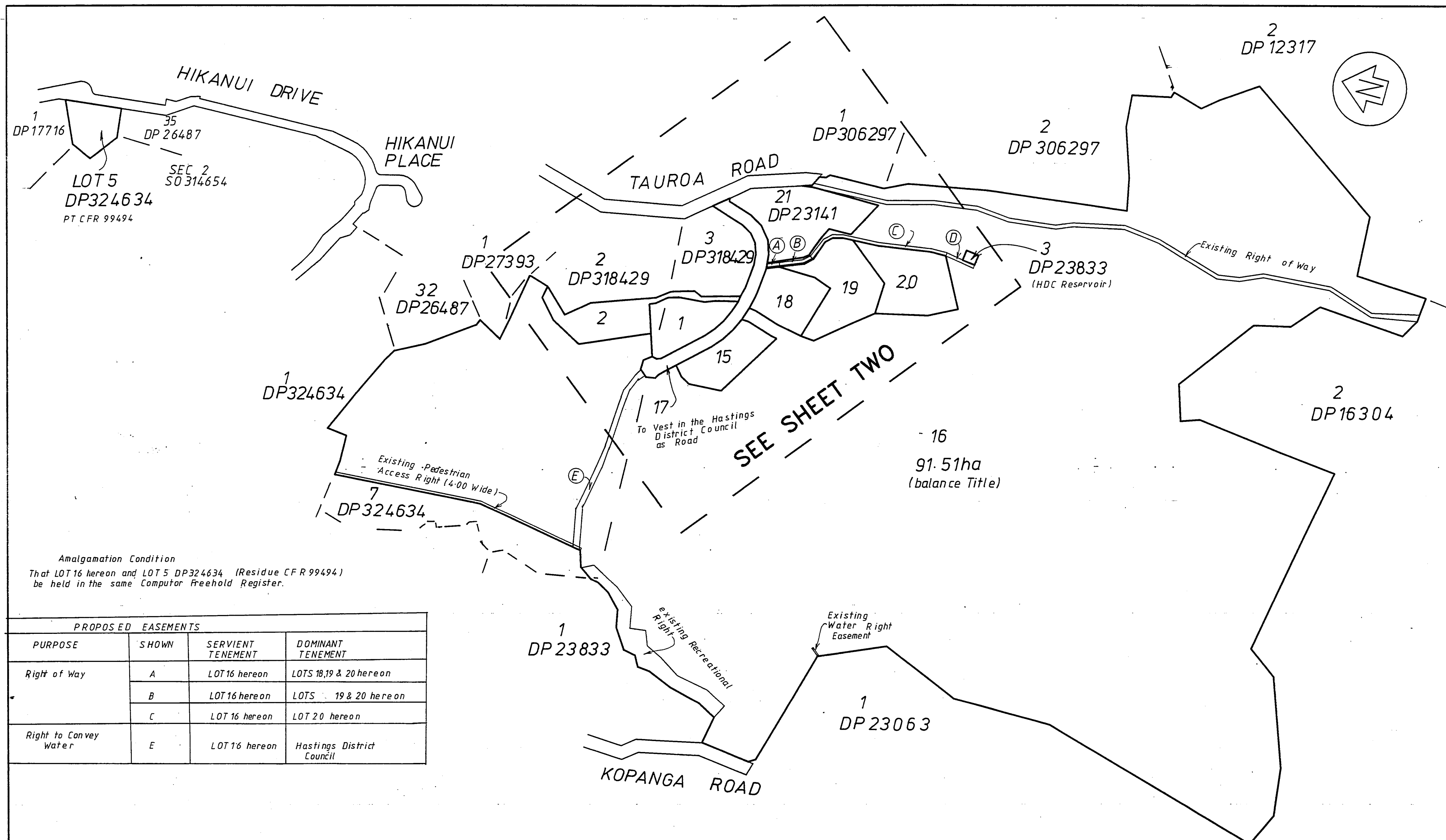
In respect of any charges under the Resource Management Act 1991, charges shown above shall be applicable to any additional charge payable in terms of Section 36(3) of the Act, where the actual and reasonable costs incurred exceed the standard charge paid.

2. In terms of Conditions 6 to 36, and 45 above, all engineering plans must be submitted to Council's Planning Department, with a cover letter clearly stating the resource consent number and which condition/s the plans relates too.
3. If it is intended to make any changes to the easements, staging or scheme plan approved by the Council as part of this resource consent, a new approval may be required. If you have any doubts as to whether or not a new application will be required, please contact one of Council's Environmental Consent Planners.
4. Please note that this consent only relates to District Plan requirements. Building Consent must be obtained before any building or drainage work commences. This work can include the construction of stormwater, sewer and/or water services. Please contact Tim Nichols, George Astridge or Gerard van Veen on 878 0500 who will be able to assist you in this regard.
5. In regard to condition 4, please note that a proposed new road name for the Road to be vested to Council should be submitted to Council for approval prior to the Land Transfer Plan being submitted to Council for sealing pursuant to section 223 of the Resource Management Act 1991. The approved Road name shall be shown on the Land Transfer Plan at this time.



SHANLEY & CO HASTINGS REGISTERED SURVEYORS AND CONSULTANTS 117E Avenue Rd. Phone 8785623 Fax 8783489 Postal Address P.O.Box 194 Hastings	PLAN OF PROPOSED SUBDIVISION OF Pt LOT 1, DP16304, LOT 4 DP318429 & LOTS 2 & 5DP324634.	HAWKES BAY LAND DISTRICT HASTINGS DISTRICT COUNCIL RMA 200 60118 SCALE: 1:1500 (A2 Original)	I, Colin George Shanley, Licensed Cadastral Surveyor, hereby certify that this scheme plan has been prepared by me in accordance with the provisions of Sec 88 of the Resource Management Act 1991 <i>Colin George Shanley</i> 28.2.07 Licensed Cadastral Surveyor	REGISTERED PROPRIETOR RAUMATI TRUST CFR 99494	Authorised Officer	SCHEME PLAN No. File: 7482 (FEB 07)
---	---	--	--	--	---------------------------	---

NOTE: This plan has been prepared for Resource Consent purposes only
Areas and dimensions are subject to survey.



Amalgamation Condition
That LOT 16 hereon and LOT 5 DP324634 (Residue CFR 99494)
be held in the same Computer Freehold Register.

PROPOSED EASEMENTS			
PURPOSE	SHOWN	SERVIENT TENEMENT	DOMINANT TENEMENT
Right of Way	A	LOT 16 hereon	LOTS 18, 19 & 20 hereon
	B	LOT 16 hereon	LOTS 19 & 20 hereon
	C	LOT 16 hereon	LOT 20 hereon
Right to Convey Water	E	LOT 16 hereon	Hastings District Council

SHEET ONE OF TWO SHEETS

February 2007

NOTE: This plan has been prepared for Resource Consent purposes only
Areas and dimensions are subject to survey.

SHANLEY & CO
HASTINGS
REGISTERED SURVEYORS
AND CONSULTANTS



117E Avenue Rd.
Phone 8785623
Fax 8783489

Postal Address
P.O. Box 194
Hastings

**PLAN OF PROPOSED
SUBDIVISION OF Pt LOT 1
DP16304, LOT 4 DP318429
& LOTS 2 & 5 DP324634.**

HAWKES BAY LAND DISTRICT
HASTINGS DISTRICT COUNCIL
RMA 20060118

SCALE: 1:4000 (A2 Original)

I, Colin George Shanley, Licensed Cadastral
Surveyor, hereby certify that this
scheme plan has been prepared by me
in accordance with the provisions of
Sec 88 of the Resource Management
Act 1991

Colin George Shanley 22/2/07
Licensed Cadastral Surveyor

REGISTERED PROPRIETOR

RAUMATI TRUST
CFR 99494

Authorised Officer

SCHEME PLAN No.

File: 7482 (FEB 07)

Decision:

Pursuant to Rule 15.1.7.3 of the Hastings District Plan (Operative June 2003) and Sections 127 and 104B of the Resource Management Act 1991, consent is Granted to Raumati Trust, to cancel conditions 38 and 39 of RMA20060118 Decision A at Tauroa Road, being Part Lot 1 DP 16304 and Lot 4 DP 318429 and Lot 2, 5 DP 324634 (CT 99494). The conditions shall now read as follows (with the cancelled conditions emboldened and struck through):

Subject to the Following Conditions:

General

1. That the Right of Way easements shown as 'A', 'B', and 'C' be granted and reserved as a memorandum of easements on the face of the Land Transfer Plan in accordance with the schedule endorsed on the scheme plan.
2. That the Right to Convey water easement shown as 'E' be granted and reserved as a memorandum of easements on the face of the Land Transfer Plan in accordance with the schedule endorsed on the scheme plan.
3. That stormwater easements shall be granted and reserved as a memorandum of easements on the face of the Land Transfer Plan disposing to the valley floor of Lot 16 in favour of Lots 1, 2, 15, 18, 19 and 20, to the satisfaction of the Drainage services Manager, Infrastructure, and the Manager, Resource Management, Hastings District Council.
4. That Lot 17 shall be vested to Hastings District Council as Road.
5. That Lot 16 hereon and Lot 5 DP 324634 (Residue CFR 994494) be held in the same Computer Freehold Register.

Reference: 577223

Roothing

6. That the applicant shall submit an engineering design of the road within proposed Lot 17 (inclusive of drainage, signage, roadmarking and lighting) for the approval of the Manager, Resource Management, Hastings District Council.
7. That the applicant shall construct the road within proposed Lot 17 (inclusive of drainage, signage, roadmarking and lighting) in accordance with the Hastings District Engineering Code of Practice (November 1997), or the approved design where this varies from the Code of Practice.
8. That the applicant shall construct the vehicle accesses on road reserve to serve Proposed Lots 1, 2, and 15 in accordance with the Hastings District Engineering Code of Practice (November 1997).
9. That the applicant shall construct the proposed vehicular access on road reserve (inclusive of drainage, signage, roadmarking and lighting) serving Proposed Lots 18, 19, 20, and Right of Way's 'A', 'B', 'C' and 'D' in accordance with the Hastings District Engineering Code of Practice (November 1997), or the approved design where this varies from the Code of Practice.
10. That the applicant shall construct Proposed Rights of Way 'A', 'B', 'C', and 'D' (inclusive of drainage, signage, roadmarking and lighting) in accordance with the Hastings District Engineering Code of Practice (November 1997), or the approved design where this varies from the Code of Practice.
11. That the applicant shall submit as-built plans, in accordance with the requirements of Section 2.7.6 of the Hastings District Engineering Code of Practice (November 1997), of the proposed vehicular access on road reserve, and all associated works to Council once construction is completed and

shall be certified complete and correct by a chartered engineer or other appropriately qualified person, to the satisfaction of the Manager, Resource Management prior to a certificate pursuant to section 224 of the Resource Management Act 1991 being issued.

12. That the applicant shall meet all of the costs associated with the provision of street and traffic signage and lighting.

Roading Levy

13. That the applicant shall pay Council a District Roding Fee of \$1795.50 (incl GST) (\$299.25 x 6) prior to the issue of a certificate pursuant to Section 224 of the Resource Management Act 1991.

Servicing

14. That the applicant enters into a supply agreement with Hastings District Council to service the subdivision from the public water supply. That the applicant shall pay to the Council such contributions for the construction of the public water supply as specified in that agreement.
15. That the applicant enters into a supply agreement with Hastings District Council to service the subdivision from the public waste water system. That the applicant shall pay to the Council such contributions for the construction of the public waste water system as specified in that agreement.
16. That the design of the low pressure sewer system shall be carried out by a suitably qualified engineer, and shall demonstrate that effluent disposed from each lot can remain in an aerobic state to the nominated discharge point in Tauroa Road to the satisfaction of the Drainage Services Manager, and the Manager, Resource Management.
17. That Stormwater from each Lot shall be piped and directed to the valley floor of Lot 16, or part of the public stormwater system in Lot 17 (to be vested as public road) to the satisfaction of the Drainage Services Manager, Infrastructure, and the Manager, Resource Management.
18. That the applicant shall submit to Council a design, including construction drawings, detailing the water, sewer, and stormwater services within the subdivision for approval, prior to construction.
19. That the design of the water, sewer and stormwater services (including separate connections to the individual lots) shall be in accordance with the Hastings District Council Engineering Code of Practice (November 1997, and amendments to the date of this approval) unless an alternative design has been approved by the Manager, Resource Management, Hastings District Council.
20. That the engineering design for water, sewer and stormwater services shall be undertaken by a registered and professionally qualified Engineer experienced in water, sewer and stormwater services design and construction.
21. That fire hydrants be installed on the water main in accordance with the Hastings District Council's Engineering Code of Practice (November 1997 and amendments to the date of this approval).
22. That the designer shall issue a "Design & Design Review" producer statement for the services design and review, the applicant shall supply these statements to Council.
23. That the applicant shall construct the water, sewer and stormwater services (including separate connections to the individual lots for water and sewer) in accordance with the approved design.
24. That all valves and hydrants shall be marked in accordance with Section 2.5.5.6 of the Hastings District Council Engineering Code of Practice with all hydrant box lids painted yellow, yellow triangle markings offset from the centreline and blue reflectors on the centreline for all hydrants, and yellow kerb markings for fire hydrants behind the kerb.
25. All water connections to individual lots are to include an Acuflo 9005 type toby and manifold complete with Hastings District Council service lids, to the satisfaction of the Water Services Manager.

26. That the water and sewer services shall be tested in accordance with the Hastings District Council Engineering Code of Practice in the presence of a Council Officer.
27. That the contractor(s) shall issue a "Construction" producer statement for the services constructed and the applicant shall supply this statement to Council.
28. That as-built plans and data, in accordance with the requirements of Section 2.7.6 of the Hastings District Council Engineering Code of Practice (Nov 1997) shall be submitted to Council once construction is completed and shall be certified as a complete and correct record by a registered and professionally qualified engineer. Data on water, sewer and stormwater assets is required to be submitted to Council in electronic format and that an electronic data book (e-book) is available for this purpose. As built data shall be submitted to council, at least two weeks prior to any application for Certification under Section 224 of the Resource Management Act 1991.
29. That closed circuit television (CCTV) inspection records (video), in accordance with Council's CCTV technical specification, shall be submitted to Council for all sewer mains, and all stormwater mains up to 600mm diameter.
30. That a registered and professionally qualified Engineer shall certify that the works have been designed and constructed in accordance with the approved design.
31. That the supervising engineer shall issue a "Construction Review" producer statement for the services construction, the completeness and accuracy of the as built data, and the applicant shall supply this statement to Council.
32. That the applicant shall submit Form 4-5 "Certification of Construction and Completion of Engineering Works for Subdivision" (Appendix 4.0-1 of the Hastings District Plan) from a registered and professionally qualified Engineer, to the Manager, Resource Management, Hastings District Council, on the completion of the engineering works.
33. That the connection of the subdivision water, sewer and stormwater services with existing or proposed services will be made at the applicant's expense and constructed by a contractor approved by Hastings District Council for constructing connection to its networks.
34. That asset's as required by the Hastings District Council shall be vested in the Hastings District Council. And that approval for vesting of any assets is given by the appropriate Hastings District Council Asset Manager.
35. That easements for drainage and access purposes along the existing public drains be created in favour of Hastings District Council and shown as a memorandum of easements on the face of the Land Transfer Plan. Dimensions for such easements are to be in accordance with 2.3.6.2 of the Hastings District Council Engineering Code of Practice (November 1997, and amendments to the date of this approval).
36. This site may require a low pressure sewer system as part of any building to be constructed. Any effluent discharge that is held on site as part of any sewer disposal design system shall remain in an aerobic state and shall not contain material that could pose a risk to the health and safety of any person undertaking maintenance, cause odour or other public nuisance, or damage the sewer network. The low pressure system will require to be certified by a suitably qualified engineer.
37. That a Consent Notice pursuant to Section 221 of the Resource Management Act 1991 shall be registered to secure the performance of Condition number 36. The notice shall be registered at the subdivider's expense against the certificate of title to issue for Lots 1, 2, 15, 18, 19 and 20 hereon.
- ~~38. No buildings shall be erected below RL48 on this site.~~
- ~~39. That a Consent Notice pursuant to Section 221 of the Resource Management Act 1991 shall be registered to secure the performance of Condition number 38. The notice shall be~~

~~registered at the subdivider's expense against the certificate of title to issue for Lot 16 hereon.~~

Sediment Control

40. That the applicant shall submit a sediment control plan by an appropriately qualified person to council, for approval by the Manager, Resource Management, prior to the commencement of any work on the site. The plan shall detail how sediment and erosion controls will be carried out at the site in accordance with current engineering best practice. A statement shall be included with the plan stating the author's qualifications and experience in this area.
41. That the applicant shall install sediment and erosion controls in accordance with the approved plan prior to the commencement of the earthworks and that these controls shall be maintained throughout the period of the works. Any areas of fill shall be grassed immediately on completion of the earthworks and maintained until stabilised. The location and dimensions of any area of fill shall be identified and advised to the Hastings District Council.
42. That the applicant shall maintain the sediment and erosion controls during construction in accordance with the approved plan.

Geotechnical

43. That no earthworks, building development or associated works, services or structures shall be undertaken on site except in accordance with the recommendations of the geotechnical review by Myles Andrews, MWH New Zealand Limited, dated the 30th January 2007 (Council file TRIM 96496#056) and dated the 14th December 2006 (Council file TRIM 96496#049) to the satisfaction of the Manager, Resource Management, Hastings District Council (this report is held by the Hastings District Council).

These recommendations are as follows:

- A. All effluent and wastewater disposal shall be to the Hastings District Council public reticulated system;
 - B. All buildings shall be setback at least 5 metres from any slope steeper than 25°;
 - C. Site specific testing of foundations and design shall be undertaken on each site prior to any building development;
 - D. All stormwater disposal shall be piped to the valley floor (of Lot 16) and shall avoid infiltration to areas of landslip.
44. That a Consent Notice pursuant to Section 221 of the Resource Management Act 1991 shall be registered to secure the performance of Condition number 43. The notice shall be registered at the subdivider's expense against the certificate of title to issue for Lots 1, 2, 15, 18, 19 and 20 hereon.
 45. That any earthworks, building development or associated works, services or structures shall be restricted to the identified building platforms on Lots 1, 2 or 15 (Plan Reference: Shanley and Co. Plan 7482 February 2007, Council file TRIM 96496#059) until the stability of the goatshed landslide is monitored and established (Council file TRIM 96496#056);
 46. That a Consent Notice pursuant to Section 221 of the Resource Management Act 1991 shall be registered to secure the performance of Condition number 45. The notice shall be registered at the subdivider's expense against the certificate of title to issue for Lots 1, 2 and 15 Hereon.

Tree Planting

47. The applicant shall submit for approval a tree planting plan showing all the trees planted on Lot 16 that provide slope stability and that nullify the stormwater runoff to the Mangarau Stream from the development of Lots 1, 2, 15, 18, 19 and 20 (Council file TRIM 96496#036 and 96496#042).

The Tree Planting Plan shall be referenced as: McHardy Tauroa Tree Planting Plan.

The Tree planting plan requires the approval of the Drainage Services Manager, Infrastructure, and the Manager, Resource Management, prior to the issue of a certificate pursuant to Section 224 of the Resource Management Act 1991. The tree planting plan shall demonstrate as a minimum:

- A. The areas of Lot 16 subject to stability and runoff planting;
- B. The minimum number of trees that are to be maintained;
- C. Identification of the range of tree species planted.

48. That the area, species and number of trees identified on the attached plan referenced: McHardy Tauroa Tree Planting Plan) shall be maintained to the satisfaction of the Hastings District Council.

The tree plantings provide slope stability for, and; nullify the effects of stormwater runoff from Lots 1, 2, 15, 18, 19 and 20 of subdivision consent RMA20060118.

The maintenance of the trees planted means; the replacement of any dangerous, dead or dying matter; ensuring the minimum number of trees identified remain, and; the general preservation of the trees to a healthy standard.

49. That a Consent Notice pursuant to Section 221 of the Resource Management Act 1991 shall be registered to secure the performance of Condition number 48. The notice shall be registered at the subdivider's expense against the certificate of title to issue for Lot 16 Hereon. The plan approved by Hastings District Council and referenced as: McHardy Tauroa Tree Planting Plan, shall be attached to this consent notice.
50. The area of trees shown on the attached plan (referenced: McHardy Tauroa Tree Planting Plan) are required to be retained and maintained in order to provide slope stability for, and; nullify the effects of stormwater created by Lots 1, 12, 15, 18, 19, and 20 hereon, this site. Should the owners of Lots 1, 2, 15, 18, 19 and 20 hereon become aware of any reduction in the amount of trees in this area, please contact Hastings District Council Planning department immediately.
51. That a Consent Notice pursuant to Section 221 of the Resource Management Act 1991 shall be registered to secure the performance of Condition number 50. The notice shall be registered at the subdivider's expense against the certificate of title to issue for Lots 1, 2, 15, 18, 19, and 20 Hereon. The plan approved by Hastings District Council and referenced as: McHardy Tauroa Tree Planting Plan, shall be attached to this consent notice.

With the Reasons for this Decision Being:

1. No parties are considered to be affected by the cancellation of conditions 38 and 39.
2. The effects of cancelling conditions 38 and 39 will be more than minor for the following reasons:
 - A. Council's Water Supply Manager Dylan Stuijt has confirmed that the revised 6 Lot subdivision does not affect any future plans for a high level water zone;
 - B. The high level water zone is a project being worked upon by Council's infrastructure group but as yet has not been implemented or created. Conditions 38 and 39 would be ultra-vires without the applicant's agreement;
 - C. Lot 16 will remain capable of providing building platforms that are outside of Designation 48 (detention dam).

3. The application meets the requirements of the Resource Management Act 1991.

Recommended by:

Shane Lambert
ENVIRONMENTAL PLANNER (CONSENTS)

Decision issued under Delegated

Authority by:

Ian Macdonald
ENVIRONMENTAL MANAGER
RESOURCE MANAGEMENT

Date:

22nd August 2007

Advisory Notes for Information Purposes:

1. At the time of applying for Certification under Sections 223 and 224(c) of the Resource Management Act 1991, the following fees may be payable under Council's Schedule of Resource Management Fees and Charges (*Please Note: These fees are correct at the date of the consent, and are subject to change*):

Section 223 certification – Sealing of Survey Plans	\$70
Section 224 certification – Survey Plans (where 223 and 224 certification are applied for together, this fee will also apply):	
For Subdivisions of 10 or less lots	\$130
Consent Notice (Section 221 of RMA)	\$80 (per notice)
Roading Engineer Check for 224(c) Certificate:	
For Subdivisions of between 3 and 10 lots	\$200
Service Engineer Check for 224(c) Certificate:	
For Subdivisions of between 3 and 10 lots	\$200

In respect of any charges under the Resource Management Act 1991, charges shown above shall be applicable to any additional charge payable in terms of Section 36(3) of the Act, where the actual and reasonable costs incurred exceed the standard charge paid.

2. In terms of Conditions 6 to 36, and 45 above, all engineering plans must be submitted to Council's Planning Department, with a cover letter clearly stating the resource consent number and which condition/s the plans relates too.
3. If it is intended to make any changes to the easements, staging or scheme plan approved by the Council as part of this resource consent, a new approval may be required. If you have any doubts as to whether or not a new application will be required, please contact one of Council's Environmental Consent Planners.
4. Please note that this consent only relates to District Plan requirements. Building Consent must be obtained before any building or drainage work commences. This work can include the construction of stormwater, sewer and/or water services. Please contact Tim Nichols, George Astridge or Gerard van Veen on 878 0500 who will be able to assist you in this regard.
5. In regard to condition 4, please note that a proposed new road name for the Road to be vested to Council should be submitted to Council for approval prior to the Land Transfer Plan being submitted to Council for sealing pursuant to section 223 of the Resource Management Act 1991. The approved Road name shall be shown on the Land Transfer Plan at this time.

Decision A (Subdivision):

Pursuant to Rule 15.1.7.1 of the Hastings District Plan (Operative June 2003) and Section 104A of the Resource Management Act 1991, consent is Granted by Hastings District Council to Raumati Trust to subdivide Part Lot 1 DP 16304, Lot 4 DP 318429, and Lot 2 DP 324634 (CT: 371549) located at Tauroa Road, Havelock North.

Subject to the Following Conditions:**General**

1. That the Land Transfer Plan to give effect to this subdivision consent shall be consistent with the approved plan prepared by Shanley & Co Surveyors, dated: May 2008 (PID: 96496) Surveyors Reference: 7482 (B) – amended 4th August 2008 submitted with application RMA20080269, unless otherwise altered by the consent conditions. A copy of the approved plan is attached.
2. That easements be granted and reserved as a memorandum of easements on the face of the Land Transfer Plan in accordance with the schedule endorsed on the scheme plan.
3. No service required herein shall extend beyond the boundary of the site served (other than onto Lot 17 Road to vest and Access Lots 11, 12, 13 and 14) unless an appropriate easement is shown within a memorandum of easements on the face of the Land Transfer Plan. All such easements shall to the satisfaction of the Manager, Resource Management cover the entire physical alignment of that service and shall provide all the necessary legal entitlements for the on-going operation and maintenance of that service.
4. That Lot 11 hereon (legal access) be held as to seven undivided 1/7th shares by the owners of Lots 3, 4, 5, 6, 7, 8 and 9 hereon as tenants in common in the said shares and that individual Computer
- 4a. That Lot 12 hereon (legal access) be held as to five undivided 1/5th shares by the owners of Lots 3, 4, 5, 6 and 8 hereon as tenants in common in the said shares and that individual Computer Freehold Registers be issued in accordance therewith.
- 4b. That Lot 13 hereon (legal access) be held as to two undivided ½ shares by the owners of Lots 7 and 9 hereon as tenants in common in the said shares and that individual Computer Freehold Registers be issued in accordance therewith.
- 4c. That Lot 14 hereon (legal access) be held as to three undivided 1/3rd shares by the owners of Lots 4, 5 and 6 hereon as tenants in common in the said shares and that individual Computer Freehold Registers be issued in accordance therewith.
- 4d. That Lot 16 hereon and Lot 5 DP 324634 (Residue CFR 371549) be held in the same Computer Freehold Register.

(See request number: 750012)

Geotechnical

5. That existing landscaping and tree plantings shall be maintained to the satisfaction

of the Manager, Resource Management, Hastings District Council.

6. That the suitability of the subsoil for foundations for any proposed buildings shall be tested in accordance with Section 3.3 of the NZS: 3604 1999 prior to application for building consent for any proposed buildings on Lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 15, 18, 19 & 20 hereon.
7. That no building shall be built within 5 metres from slopes steeper than 25° on Lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 15, 18, 19 & 20 hereon.

Servicing

8. That the applicant enters into a supply agreement with Hastings District Council to service the subdivision from the public water supply and the applicant shall pay to the Council such contributions for the construction of the public water supply as specified in that agreement.
9. That the applicant enters into a supply agreement with Hastings District Council to service the subdivision from the public waste water system. The applicant shall pay to the Council such contributions for the construction of the public waste water system as specified in that agreement.
10. That the design of the low pressure sewer system shall be carried out by a suitably qualified engineer, and shall demonstrate that effluent disposed from each lot can remain in an aerobic state to the nominated discharge point in Tauroa Road to the satisfaction of the Drainage Services Manager, and the Manager, Resource Management.
11. That Stormwater from each Lot shall be piped and directed to the natural water course on the individual sites and shall discharge through a suitably designed energy dissipating outlet structure – to be approved prior to construction.
12. That the applicant shall submit to Council a design, including construction drawings, detailing the water, sewer, and stormwater services within the subdivision for approval, prior to construction.
13. That the design of the water, sewer and stormwater services (including separate connections to the individual lots) shall be in accordance with the Hastings District Council Engineering Code of Practice (November 1997, and amendments to the date of this approval) unless an alternative design has been approved by the Manager, Resource Management, Hastings District Council.
14. That the engineering design for water, sewer and stormwater services shall be undertaken by a registered and professionally qualified engineer experienced in water, sewer and stormwater services design and construction.
15. That fire hydrants be installed on the water main in accordance with the Hastings District Council's Engineering Code of Practice (November 1997 and amendments to the date of this approval).
16. That the designer shall issue a "Design & Design Review" producer statement for the services design and review, the applicant shall supply these statements to Council.

17. That the applicant shall construct the water, sewer and stormwater services (including separate connections to the individual lots for water and sewer) in accordance with the approved design.
18. That all valves and hydrants shall be marked in accordance with Section 2.5.5.6 of the Hastings District Council Engineering Code of Practice with all hydrant box lids painted yellow, yellow triangle markings offset from the centreline and blue reflectors on the centreline for all hydrants, and yellow kerb markings for fire hydrants behind the kerb.
19. All water connections to individual lots are to include an Acuflo 900s type toby and manifold complete with Hastings District Council service lids, to the satisfaction of the Water Services Manager.
20. That the water and sewer services shall be tested in accordance with the Hastings District Council Engineering Code of Practice in the presence of a Council Officer.
21. That the contractor(s) shall issue a "Construction" producer statement for the services constructed and the applicant shall supply this statement to Council.
22. That as-built plans and data, in accordance with the requirements of Section 2.7.6 of the Hastings District Council Engineering Code of Practice (November 1997) shall be submitted to Council once construction is completed and shall be certified as a complete and correct record by a registered and professionally qualified engineer. Data on water, sewer and stormwater assets is required to be submitted to Council in electronic format and that an electronic data book (e-book) is available for this purpose. As built data shall be submitted to Council, at least two weeks prior to any application for Certification under Section 224(c) of the Resource Management Act 1991.
23. That closed circuit television (CCTV) inspection records (video), in accordance with Council's CCTV technical specification, shall be submitted to Council for all sewer mains, and all stormwater mains up to 600mm diameter.
24. That a registered and professionally qualified engineer shall certify that the works have been designed and constructed in accordance with the approved design.
25. That the supervising engineer shall issue a "Construction Review" producer statement for the services construction, the completeness and accuracy of the as built data, and the applicant shall supply this statement to Council.
26. That the applicant shall submit Form 4-5 "Certification of Construction and Completion of Engineering Works for Subdivision" (Appendix 4.0-1 of the Hastings District Plan) from a registered and professionally qualified engineer, to the Manager, Resource Management, Hastings District Council, on the completion of the engineering works.
27. That the connection of the subdivision water, sewer and stormwater services with existing or proposed services will be made at the applicant's expense and constructed by a contractor approved by Hastings District Council for constructing connections to its networks.
28. That assets as required by the Hastings District Council shall be vested in the Hastings District Council and that approval for vesting of any assets is given by the appropriate Hastings District Council Asset Manager.

29. That easements for drainage and access purposes along the existing public drains be created in favour of Hastings District Council and shown as a memorandum of easements on the face of the Land Transfer Plan. Dimensions for such easements are to be in accordance with 2.3.6.2 of the Hastings District Council's Engineering Code of Practice (November 1997, and amendments to the date of this approval).
30. This site may require a low pressure sewer system as part of any building to be constructed. Any effluent discharge that is held on site as part of any sewer disposal design system shall remain in an aerobic state and shall not contain material that could pose a risk to the health and safety of any person undertaking maintenance, cause odour or other public nuisance, or damage the sewer network. The low pressure system will require to be certified by a suitably qualified engineer.
31. That all Subsoil drainage systems are to be monitored and maintained in an operational state
32. That a Consent Notice pursuant to Section 221 of the Resource Management Act 1991 shall be registered to secure the performance of Conditions 5, 6, 7 and 30. The notice shall be registered at the subdivider's expense against the Certificates of Title to issue for Lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 15, 18, 19 & 20 hereon.

Roading

33. The consent holder shall submit engineering design drawings showing cross sections and longitudinal section (inclusive of drainage, signage, roadmarking and street lighting details) for the road to be vested (Lot 17) and Rights of Way 'A', 'B', 'C', 'D', 'E', 'F', 'G', 'I', 'M', 'P', 'Q', 'R', 'S', 'U', 'V', 'W', & 'X'
34. The consent holder shall construct proposed Lot 17 (inclusive of drainage, signage, roadmarking and street lighting details) in accordance with the Hastings District Council Engineering Code of Practice (November 1997).
35. That Lot 17 hereon shall be vested in the Hastings District Council as Road.
36. The consent holder shall construct proposed Rights of Way 'A', 'B', 'C', 'D', 'E', 'F', 'G', 'I', 'M', 'P', 'Q', 'R', 'S', 'U', 'V', 'W', & 'X' in accordance with the Hastings District Council Engineering Code of Practice (November 1997).
37. The consent holder shall construct vehicle crossings on all Rights of Way to serve proposed Lots 1-10, 15, 18, 19 & 20 in accordance with the Hastings District Council Engineering Code of Practice (November 1997).
38. The road marking and signage required by condition 30 should be designed in accordance with the Hastings District Council Engineering Code of Practice (November 1997) and the Manual of Traffic Signs and Markings Parts 1 and 2.
39. That as-built plans, in accordance with the requirements of Section 2.7.6 of the Hastings District Council Engineering Code of Practice (November 1997) shall be submitted to Council once construction is completed and shall be certified as a complete and correct record by a Chartered Professional Engineer or other appropriately qualified person. These plans shall be submitted prior to the release of the Section 224(c) Certificate

40. The consent holder shall meet all costs associated with the provision of road signage and lighting.

Sediment Control

41. That the applicant shall submit a sediment control plan prepared by an appropriately qualified person to council for approval by the Manager, Resource Management, prior to the commencement of any work on the site. The plan shall detail how sediment and erosion controls will be carried out at the site in accordance with current engineering best practice. A statement shall be included with the plan stating the author's qualifications and experience in this area.
42. That the applicant shall install sediment and erosion controls in accordance with the approved plan prior to the commencement of the earthworks and that these controls shall be maintained throughout the period of the works. Any areas of fill shall be grassed immediately on completion of the earthworks and maintained until stabilised. The location and dimensions of any area of fill shall be identified and advised to the Hastings District Council.
43. That the applicant shall maintain the sediment and erosion controls during construction in accordance with the approved plan.

Tree Planting

44. The applicant shall submit for approval a tree planting showing all the trees planted on Lot 16 that provide slope stability and that nullify the stormwater runoff to the Mangarau Stream from the development of Lots 1-10, 15, 18, 19 & 20.

The Tree Planting Plan shall be referenced as: Raumati Trust Tauroa Tree Planting Plan (RMA20080269).

The tree planting plan requires the approval of the Drainage Services Manager, Infrastructure, and the Manager, Resource Management, prior to the issue of a certificate pursuant to Section 224 of the Resource Management Act 1991. The tree planting plan shall demonstrate as a minimum:

- A. The areas of Lot 16 subject to stability and runoff planting;
- B. The minimum number of trees that are to be maintained;
- C. Identification of the range of tree species planted.

45. That the area, species and number of trees identified on the attached plan referenced: (Raumati Trust Tauroa Tree Planting Plan RMA20080269) shall be maintained to the satisfaction of the Hastings District Council.

The tree plantings provide slope stability for, and; nullify the effects of stormwater runoff from Lots 1-10, 15, 18, 19 and 20 of subdivision consent RMA20080269.

The maintenance of the trees planted means; the replacement of any dangerous, dead or dying matter, ensuring the minimum number of trees identified remain, and; the general preservation of trees to a healthy standard.

46. That a Consent Notice pursuant to Section 221 of the Resource Management Act 1991 shall be registered to secure the performance of Condition number 45. The notice shall be registered at the subdivider's expense against the Certificate of Title to issue for Lot 16 hereon. The plan approved by Hastings District Council and

referenced as: Raumati Trust Tauroa Tree Planting Plan (RMA20080269), shall be attached to this consent notice.

47. The area of trees shown on the attached plan (referenced: Raumati Trust Tauroa Tree Planting Plan (RMA20080269) are required to be retained and maintained in order to provide slope stability for, and; nullify the effects of stormwater created by Lots 1-10, 15, 18, 19 and 20 hereon, this site.
Should the owners of Lots 1-10, 15, 18, 19 and 20 hereon become aware of any reduction in the amount of trees planted in this area, please contact Hastings District Council department immediately (06) 878 0500.
48. That a Consent Notice pursuant to Section 221 of the Resource Management Act 1991 shall be registered to secure the performance on Condition number 47. The notice shall be registered at the subdivider's expense against the Certificate of Title to issue for Lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 15, 18, 19 and 20 hereon. The plan approved by Hastings District Council and referenced as: Raumati Trust Tauroa Tree Planting Plan, shall be attached to this consent notice.

With the Reasons for this Decision Being:

The proposed subdivision is unlikely to have any adverse effects on the environment in that:

- The possibility of ongoing small scale movement within the Goat Shed Landslide posing a risk to residential buildings due to land instability has been sufficiently quantitatively assessed and provides an adequate degree of confidence that the risk to the subdivision is acceptable. This was proved through substantial geotechnical investigations and monitoring of the site.
- Fourteen additional sites capable of being serviced will be created.
- The sites created will be suitable for a range of uses permitted by the Plan.
- The proposed subdivision is consistent with the Objectives, Policies and other provisions of the Hastings District Plan in that the subdivision aspects of the proposal can be considered as a controlled activity. It is the side yard intrusions of the building platforms, which render this application a Restricted Discretionary Activity. These aspects of the proposal are considered consistent with the associated Plan outcomes.
- All relevant access and natural hazard requirements of Section 106 have been achieved.
- The proposal is consistent with the principles and purposes of the Resource Management Act 1991.
- Condition 1 ensures that the subdivision proceeds in accordance with the approved scheme plan.
- Conditions 2 & 3 ensure that all necessary easements are granted and reserved as a memorandum of easements.
- Conditions 4-4d ensure those lots with rights to access lots have equal undivided shares in the ownership of those access lots and ensures the amalgamation of the balance lot (Lot 16) with Lot 5 DP 324634 (Residue CFR 99494) so the two are held in the same Computer Freehold Register.

- Condition 5 ensures that existing tree plantings are retained to ensure good slope management.
- Condition 6 ensures that each building foundation will be able to comply with the Building Code NZS 4431.
- Condition 7 helps to mitigate against surcharging areas of unstable ground and maintain a setback from areas which may be prone to shallow regolith failures in the future.
- Condition 8 ensures the applicant enters into a supply agreement with HDC to service the subdivision from the public water supply as this subdivision falls under the high level water zone area of Havelock North.
- Condition 9 ensures the applicant enters into a supply agreement with HDC to service the subdivision from the public waste water supply system.
- Conditions 10 to 31 ensure that each site can be serviced for water supply, sewer disposal and stormwater disposal.
- Condition 32 ensures ongoing compliance with Conditions 5 6, 7 and 30 in terms of a Consent Notice to be registered against the titles to issue for Lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 15, 18, 19 & 20.
- Condition 33 ensures the consent holder to submits to Council engineering design drawings for the Road to vest (Lot 17) and all Rights of Way.
- Condition 34 ensures proposed Lot 17 (Road to vest) is constructed in accordance with the Engineering Code of Practice.
- Condition 35 ensures that the new road constructed will be vested to Council.
- Condition 36 ensures the proposed Rights of Way are constructed to Engineering Code of Practice standards.
- Condition 37 ensures each lot has safe and efficient legal access to the roading network.
- Condition 38 ensures all road marking and signage within Lot 17 (Road to vest) is designed in accordance with the Hastings District Council Engineering Code of Practice (November 1997) and the Manual of Traffic Signs and Markings Parts 1 and 2.
- Condition 40 ensures the consent holder meets all costs associated with the provision of road signage and lighting.
- Conditions 41-43 ensure no sediment during development of the subdivision is disposed of into any natural water courses.
- Conditions 44-48 ensure that all the trees planted across Lot 16 that help provide stability to the sites created, and nullify the additional stormwater created by the new sites, will be maintained to continue to aid the mitigation of stability and stormwater effects.

Decision B (Land use yard waiver):

Pursuant to Rule 7.7.3 of the Hastings District Plan (Operative June 2003) and Section 104C of the Resource Management Act 1991, consent is Granted to Raumati Trust, to establish house sites on Lots 1, 2, 3, 4, 7, 8, and 18 in lieu of the 15m 'all other yards' setback distance required (as shown on Plan '7482 (B)') at Tauroa Road being (prior to subdivision) Part Lot 1 DP 16304, Lot 4 DP 318429 and Lot 2 DP 324634 comprised in CT 371549.

Subject to the following conditions:

1. That the development proceeds in accordance with the plans and information submitted in the application (ref: Tauroa Road, Property ID: 96496, Surveyor's Reference: 7482 (B) – amended 4th August 2008, Resource Consent RMA20080269. In particular that the following setback intrusions shall apply:
 - Lot 1: 5.0m from the northern boundary with Lot 2, in lieu of the 15m setback from all other boundaries.
 - Lot 2: 13m from the southern boundary with Lot 3, in lieu of the 15m required.
 - Lot 3: 11m from the southern boundary with Lot 14 (access lot) and 8m from the western boundary with Lot 4, in lieu of the 15m required.
 - Lot 4: 8.0m from the eastern boundary with Lot 3 and 10.0m from the north-eastern boundary with Lot 2, in lieu of the 15m required.
 - Lot 7: 5m from the southern boundary with Lot 16, in lieu of the 15m required.
 - Lot 8: 10m from the northern boundary with Lot 14 (access lot), in lieu of the 15m required.
 - Lot 18: 8m from the eastern boundary with Lot 19, in lieu of the 15m required.

With the reasons for this decision being:

- No persons other than the applicant are considered as Affected Persons.
- The proposed building platforms are unlikely to detract from the general open character and amenity of the area in that the platforms in that;
- The position of the building platforms on Lots 1, 2, 3, 4, 7, 8, and 18 will not result in a clutter effect of buildings when considered in the context of the remaining proposed building platforms and the existing dwellings in Tauroa Road. The effect on the open character will be limited to the internal arrangement of the subdivision which provides a good level of separation between building platforms. Although some of the internal boundary setbacks are lessened, there is still a suitable separation for building platforms within the subdivision with no building platform being closer than 15 metres to another.
- The proposal is consistent with the outcomes of District Plan in that:
 - The building platforms will not compromise the open character and amenity of the Rural Residential Zone.

- The subdivision is unlikely to have an adverse visual effect on the local and wider vicinity
- The building platforms are unlikely to result in conflicts between adjoining landuses.
- The application is consistent with the purposes and principles of the Resource Management Act 1991.

Recommended by:

Rowan Little
ENVIRONMENTAL PLANNER (POLICY)

Decision issued under Delegated Authority by:

Phil Evans
TEAM LEADER
ENVIRONMENTAL PLANNING (CONSENTS)

Date:

8 August 2008

Advisory Notes for Information Purposes:

1. At the time of applying for Certification under Sections 223 and 224(c) of the Resource Management Act 1991, the following fees may be payable under Council's Schedule of Resource Management Fees and Charges (*Please Note: These fees are correct at the date of the consent, and are subject to change*):

- Section 223 certification – Sealing of Survey Plans \$80
- Section 224 certification – Survey Plans (where 223 and 224 certification are applied for together, this fee will also apply):
 - For Subdivisions of more than 10 \$300
- Consent Notice (Section 221 of RMA) \$110 (per notice)
- Roading Engineer Check for 224(c) Certificate:
 - For Subdivisions of more than 10 lots (actual cost based on hourly rates will be charged) \$200 (deposit)
- East Water Engineer Check for 224(c) Certificate:
 - For Subdivisions of more than 10 lots (actual cost based on hourly rates will be charged) \$200 (deposit)

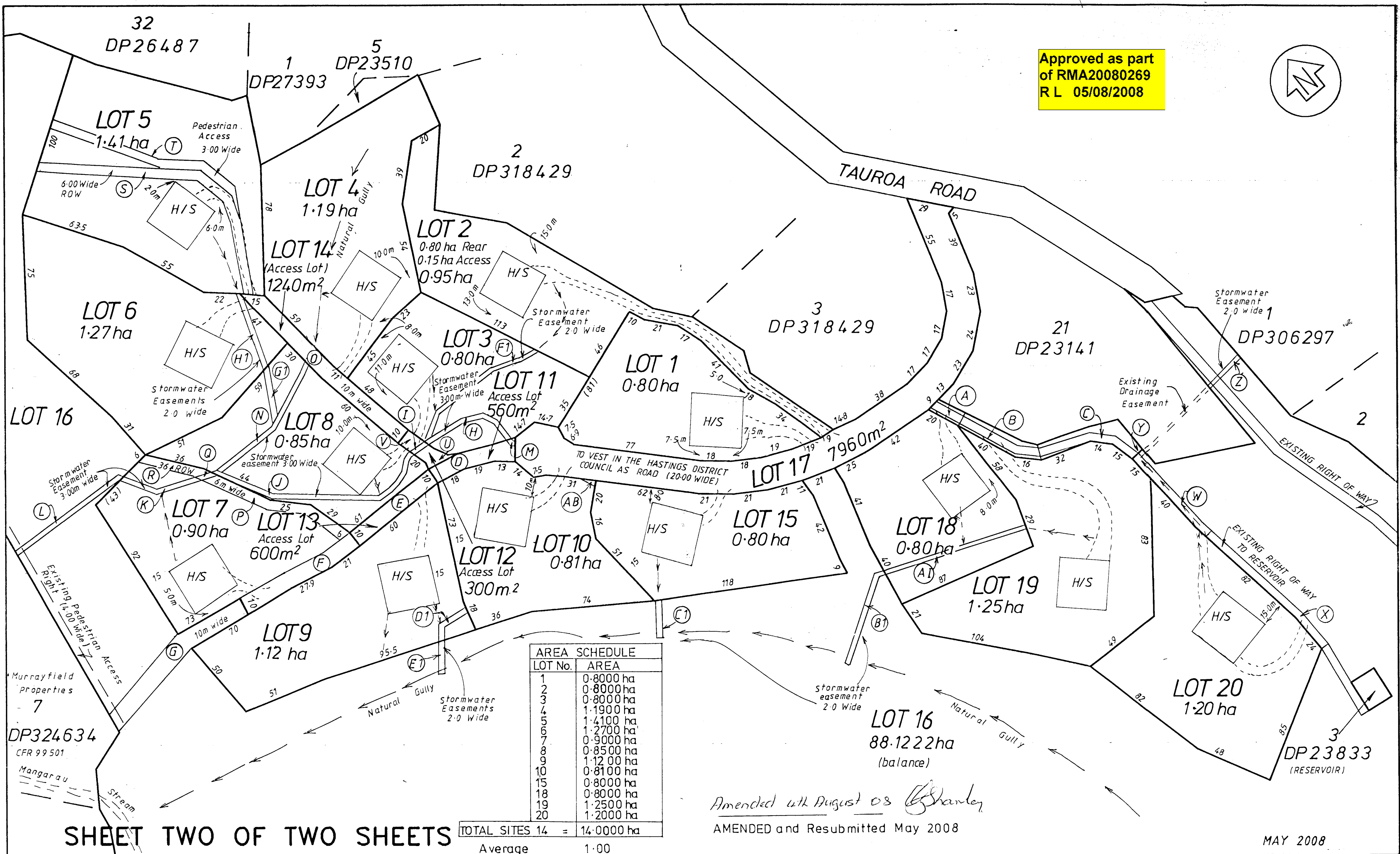
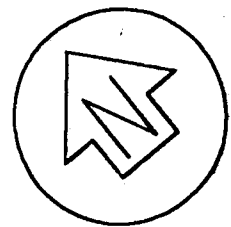
In respect of any charges under the Resource Management Act 1991, charges shown above shall be applicable to any additional charge payable in terms of Section 36(3) of the Act, where the actual and reasonable costs incurred exceed the standard charge paid.

2. In terms of Conditions 12, 22, 26, 33 & 39 above, all engineering plans must be submitted to Council's Planning Department, with a cover letter clearly stating the resource consent number and which condition/s the plans relates too.
3. If it is intended to make any changes to the easements, staging or scheme plan approved by the Council as part of this resource consent, a new approval may be required. If you have any doubts as to whether or not a new application will be required, please contact one of Council's Environmental Consent Planners.

4. Please note that this consent only relates to District Plan requirements. Building Consent must be obtained before any building or drainage work commences. This work can include the construction of stormwater, sewer and/or water services. Please contact Tim Nichols, George Astridge or Gerard Van Veen on 878 0500 who will be able to assist you in this regard.
5. This development may be subject to development contributions in accordance with the Local Government Act 2002 and the Hastings District Council Development Contributions Policy. If applicable, an assessment letter detailing the amounts will be sent to you in the next few weeks. Please note that any assessed development contributions must be paid before the Council can issue a Section 224 Certificate for any stage of this development. If you have any questions about development contributions please contact the Development Contributions Officer at the Hastings District Council.
6. Part of this property is located within the Rural Zone which is a productive rural area. Residents live in an environment where agricultural management practices such as agrichemical spraying, use of farm machinery, the seasonal operation of bird scarers and night harvesting occur.
7. Part of this property is located in the Rural-Residential Zone which is located close to productive rural areas. Residents live in an environment where agricultural management practices such as agrichemical spraying, use of farm machinery, the seasonal operation of bird scarers, traffic movements, dust generation, odour, and night harvesting occur.
8. Part of this area has been identified as an Outstanding Natural Feature. The District Plan restricts certain activities, including building development, earthworks and plantations, so that such activities do not have an adverse effect on these features.
9. Part of this area has been identified as a Significant Landscape Character Area. Certain activities, including building development, earthworks and plantations, may have an adverse effect on this landscape. The community seeks to ensure that a range of different landscape types, best representing each of the inland and coastal landscape units identified for the Hastings District, are retained and enhanced.
10. This property contains a designated site under section 176 of the Resource Management Act 1991. No person may, without the prior written consent of the requiring authority, do anything in relation to the land that is the subject of the designation including:
 - (a) Undertaking any use of the land (including any use, erection, reconstruction, placement, alteration, extension, removal, or demolition of any structures, excavation, drilling or tunnelling, and deposition of any substance);
 - (b) Subdividing the land; and
 - (c) Changing the character, intensity or scale of the use of the land;that would prevent or hinder the public work or project or work to which the designation relates.
11. This site is identified in the 2004 Hawke's Bay Regional Council 1 in 50 year flooding area. The property owner should take this into consideration when considering future development of this site.

- 12. Council's records indicate that this site has been subject to ponding in the past. The property owner should take this into account when considering future development on the site.**
- 13. This site contains an active fault line. The property owner should take this into account when considering future development on the site.**
- 14. Under the Regional Plan, no building, structure, fence, planting, deposit of earth, shingle or debris, or any activity which impedes access to any river, lake or watercourse is permitted within 6 metres of a river, lake or watercourse which is within a land drainage or flood control scheme area.**

Approved as part
of RMA20080269
R L 05/08/2008



SHEET TWO OF TWO SHEETS

SHANLEY & CO
HASTINGS

REGISTERED SURVEYORS
AND CONSULTANTS

117E Avenue Rd.
Phone 8785623
Fax 8783489

Postal Address
P.O. Box 194
Hastings

PLAN OF PROPOSED
SUBDIVISION OF Pt LOT 1
DP16304, LOT 4 DP318429
& LOTS 2 & 5 DP324634.
& LOT 1 DP392702

HAWKES BAY LAND DISTRICT
HASTINGS DISTRICT COUNCIL

SCALE: 1:1500 (A2 Original)

I, Colin George Shanley, Licensed Cadastral
Surveyor, hereby certify that this
scheme plan has been prepared by me
in accordance with the provisions of
Ssc 88 of the Resource Management
Act 1991

Colin George Shanley 13/3/06
Licensed Cadastral Surveyor

REGISTERED PROPRIETOR

COMPRISED IN:
CFR 371549

Authorised Officer

SCHEME PLAN No.

File: 7482(B)

MAY 2008

Amended with August 08 *Shanley*
AMENDED and Resubmitted May 2008

HIKANUI DRIVE

HIKANUI PLACE

TAUROA ROAD

KOPANGA ROAD

Mangarau Stream

EXISTING PEDESTRIAN ACCESS RIGHT (400 wide)

EXISTING WATER RIGHT EASEMENT

EXISTING RECREATIONAL RIGHT

Existing Right of Way to Reservoir

Existing Right of Way

SEE SHEET TWO

SHEET ONE OF TWO SHEETS

TOTAL AREA 103.7146 ha

Approved as part of RMA20080269 R L 05/08/2008

AMALGAMATION CONDITIONS

- That Lot 11 hereon (Legal Access) be held as to seven undivided 1/7th shares by the owners of Lots 3, 4, 5, 6, 7, 8 and 9 hereon as tenants in common in the said shares and that individual Computer Freehold Registers be issued in accordance therewith.
- That Lot 12 hereon (Legal Access) be held as to five undivided 1/5th shares by the owners of Lots 3, 4, 5, 6 and 8 hereon as tenants in common in the said shares and that individual Computer Freehold Registers be issued in accordance therewith.
- That Lot 13 hereon (Legal Access) be held as to two undivided 1/2 shares by the owners of Lots 7 and 9 hereon as tenants in common in the said shares and that individual Computer Freehold Registers be issued in accordance therewith.
- That Lot 14 hereon (Legal Access) be held as to three undivided 1/3rd shares by the owners of Lots 4, 5 and 6 hereon as tenants in common in the said shares and that individual Computer Freehold Registers be issued in accordance therewith.
- That Lot 16 hereon and Lot 5 DP324634 (Residue CFR99494) be held in the same Computer Freehold Register.

PURPOSE	SHOWN	SERVIENT TENEMENT	DOMINANT TENEMENT
Right of Way	A	LOT 16	LOTS 18, 19 & 20
	B	LOT 16	LOTS 19 & 20
	C, W, X	LOT 16	LOT 20
	D, M	LOT 11	LOT 16, LOT 7 DP324634 &
	E	LOT 13	LOT 1 DP23833 PT LOT 2 DP7045
	F	LOT 7	(CFR99501)
	G	LOT 16	LOT 7 DP324634 & LOT 1 DP23833 & PT LOT 2 DP7045
	R, Q, S	LOT 7	LOT 16
	I, U, V	LOT 12	LOT 16
	O	LOT 14	LOT 16
Pedestrian Access Rights	D, M	LOT 11	LOTS 1, 2, 10 - 15, 18 - 20
	E	LOT 13	LOTS 1 - 6, 8, 10 & 15, 18 - 20
	F	LOT 7	LOTS 1 - 6, 8 - 10 & 15, 18 - 20
	G	LOT 16	LOTS 1 - 10, 15, 18 - 20
	T	LOT 5	LOT 16

PURPOSE	SHOWN	SERVIENT TENEMENT	GRANTEE
Right to Drain Water	H	LOT 11	Hastings District Council
	M	LOT 3	
	I	LOT 12	
	J	LOT 8	
	K, Q	LOT 7	
	L	LOT 16	
	D	LOT 11	
	E	LOT 13	
Right to Convey Water	F	LOT 7	
	G	LOT 16	

PURPOSE	SHOWN	SERVIENT TENEMENT	DOMINANT TENEMENT
Right to Drain Water	N	LOT 8	LOTS 4, 5 & 6
	F1	LOT 3	LOT 2
	H1	LOT 6	LOT 5
	G1	LOT 8	LOTS 5 & 6
	E1	LOT 16	LOTS 9 & 10
	D1	LOT 9	LOT 10
	C1	LOT 16	LOT 15
	B1	LOT 16	LOTS 18 & 19
	A1	LOT 18	LOT 19
	W, YZ	LOT 16	LOT 20

PURPOSE	SHOWN	SERVIENT TENEMENT	DOMINANT TENEMENT
Drain Sewage & Convey Water	A	LOT 16	LOTS 18, 19 & 20
	B	LOT 16	LOTS 19 & 20
	C, W	LOT 16	LOT 20

NOTE: This plan has been prepared for Resource Consent purposes only. Areas and Dimensions are approximate only and are subject to survey.
Schedule added 4-8-08

MAY 2008

PROPOSED EASEMENTS IN GROSS			
PURPOSE	SHOWN	SERVIENT TENEMENT	GRANTEE
Right to Drain Water	M	LOT 11	Hastings District Council
	H	LOT 3	
	I	LOT 12	
	J	LOT 8	
	K, Q	LOT 7	
	L	LOT 16	
	D	LOT 11	
Right to Convey Water	E	LOT 13	
	F	LOT 7	
	G	LOT 16	

PROPOSED EASEMENTS		
PURPOSE	SHOWN	DOMINANT TENEMENT
Right to	N	LOTS 4 5 & 6
Drain	F1	LOT 2
Water	H1	LOT 5
	G1	LOTS 5 & 6
	F1	LOTS 9 & 10
	D1	LOT 10
	C1	LOT 15
	B1	LOTS 18 & 19
	A1	LOT 19
	W,Y,Z.	LOT 20

PROPOSED EASEMENTS			
PURPOSE	SHOWN	SERVIENT TENEMENT	DOMINANT TENEMENT
Drain Sewage & Convey Water	A	LOT 16	LOTS 18, 19 & 20
	B	LOT 16	LOTS 19 & 20
	C, W	LOT 16	LOT 20

NOTE: This plan has been prepared for Resource Consent purposes only
Areas and Dimensions are approximate only and are subject to survey.
Schedule added 4-8-08 [Signature]

SHANLEY & CO HASTINGS REGISTERED SURVEYORS AND CONSULTANTS 117E Avenue Rd. Phone 8785623 Fax 8783489		PLAN OF PROPOSED SUBDIVISION OF Pt LOT 1 DP16304, LOT 4 DP318429 & LOTS 2 & 5 DP324634.	HAWKES BAY LAND DISTRICT HASTINGS DISTRICT COUNCIL SCALE: 1:4000 (A2 Original)	I, Colin George Shanley, Licensed Cadastral Surveyor, hereby certify that this scheme plan has been prepared by me in accordance with the provisions of Ssc 88 of the Resource Management Act 1991  13/3/06 Licensed Cadastral Surveyor	REGISTERED PROPRIETOR Raumati Trust	Authorised Officer File: 7482 (B)	SCHEME PLAN No.
					COMPRISED IN: CFR 3:71549		

Decision:

Pursuant to Rule 15.1.7.3 of the Hastings District Plan (Operative June 2003) and Sections 127 and 104B of the Resource Management Act 1991, consent is Granted by Hastings District Council to Raumati Trust Ltd to subdivide Part Lot 1 DP 16304, Lot 4 DP 318429, and Lot 2 DP 324634 (CT: 371549) located at Tauroa Road, Havelock North and to vary conditions 1, 2, 33 and 36 of RMA20080269. The conditions shall now read as follows (varied conditions are underlined)

Subject to the Following Conditions:**General**

1. That the Land Transfer Plan to give effect to this subdivision consent shall be consistent with the approved plan prepared by Shanley & Co Surveyors, dated: 13 March 2006 (PID: 96496#0044) Surveyors Reference: 7482 (B) – amended 12 September 2008 submitted with application RMA20080469, unless otherwise altered by the consent conditions. A copy of the approved plan is attached.
2. That easements be granted and reserved as a memorandum of easements on the face of the Land Transfer Plan in accordance with the schedule endorsed on the scheme plan.
3. No service required herein shall extend beyond the boundary of the site served (other than onto Lot 17 Road to vest and Access Lots 11, 12, 13 and 14) unless an appropriate easement is shown within a memorandum of easements on the face of the Land Transfer Plan. All such easements shall to the satisfaction of the Manager, Resource Management cover the entire physical alignment of that service and shall provide all the necessary legal entitlements for the on-going operation and maintenance of that service.
4. That Lot 11 hereon (legal access) be held as to seven undivided 1/7th shares by the owners of Lots 3, 4, 5, 6, 7, 8 and 9 hereon as tenants in common in the said shares and that individual Computer
- 4a. That Lot 12 hereon (legal access) be held as to five undivided 1/5th shares by the owners of Lots 3, 4, 5, 6 and 8 hereon as tenants in common in the said shares and that individual Computer Freehold Registers be issued in accordance therewith.
- 4b. That Lot 13 hereon (legal access) be held as to two undivided ½ shares by the owners of Lots 7 and 9 hereon as tenants in common in the said shares and that individual Computer Freehold Registers be issued in accordance therewith.
- 4c. That Lot 14 hereon (legal access) be held as to three undivided 1/3rd shares by the owners of Lots 4, 5 and 6 hereon as tenants in common in the said shares and that individual Computer Freehold Registers be issued in accordance therewith.
- 4d. That Lot 16 hereon and Lot 5 DP 324634 (Residue CFR 371549) be held in the same Computer Freehold Register.

(See request number: 750012)

Geotechnical

5. That existing landscaping and tree plantings shall be maintained to the satisfaction of the Manager, Resource Management, Hastings District Council.
6. That the suitability of the subsoil for foundations for any proposed buildings shall be tested in accordance with Section 3.3 of the NZS: 3604 1999 prior to application for building consent for any proposed buildings on Lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 15, 18, 19 & 20 hereon.
7. That no building shall be built within 5 metres from slopes steeper than 25⁰ on Lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 15, 18, 19 & 20 hereon.

Servicing

8. That the applicant enters into a supply agreement with Hastings District Council to service the subdivision from the public water supply and the applicant shall pay to the Council such contributions for the construction of the public water supply as specified in that agreement.
9. That the applicant enters into a supply agreement with Hastings District Council to service the subdivision from the public waste water system. The applicant shall pay to the Council such contributions for the construction of the public waste water system as specified in that agreement.
10. That the design of the low pressure sewer system shall be carried out by a suitably qualified engineer, and shall demonstrate that effluent disposed from each lot can remain in an aerobic state to the nominated discharge point in Tauroa Road to the satisfaction of the Drainage Services Manager, and the Manager, Resource Management.
11. That Stormwater from each Lot shall be piped and directed to the natural water course on the individual sites and shall discharge through a suitably designed energy dissipating outlet structure – to be approved prior to construction.
12. That the applicant shall submit to Council a design, including construction drawings, detailing the water, sewer, and stormwater services within the subdivision for approval, prior to construction.
13. That the design of the water, sewer and stormwater services (including separate connections to the individual lots) shall be in accordance with the Hastings District Council Engineering Code of Practice (November 1997, and amendments to the date of this approval) unless an alternative design has been approved by the Manager, Resource Management, Hastings District Council.
14. That the engineering design for water, sewer and stormwater services shall be undertaken by a registered and professionally qualified engineer experienced in water, sewer and stormwater services design and construction.
15. That fire hydrants be installed on the water main in accordance with the Hastings District Council's Engineering Code of Practice (November 1997 and amendments to the date of this approval).
16. That the designer shall issue a "Design & Design Review" producer statement for the services design and review, the applicant shall supply these statements to Council.

17. That the applicant shall construct the water, sewer and stormwater services (including separate connections to the individual lots for water and sewer) in accordance with the approved design.
18. That all valves and hydrants shall be marked in accordance with Section 2.5.5.6 of the Hastings District Council Engineering Code of Practice with all hydrant box lids painted yellow, yellow triangle markings offset from the centreline and blue reflectors on the centreline for all hydrants, and yellow kerb markings for fire hydrants behind the kerb.
19. All water connections to individual lots are to include an Acuflo 900s type toby and manifold complete with Hastings District Council service lids, to the satisfaction of the Water Services Manager.
20. That the water and sewer services shall be tested in accordance with the Hastings District Council Engineering Code of Practice in the presence of a Council Officer.
21. That the contractor(s) shall issue a "Construction" producer statement for the services constructed and the applicant shall supply this statement to Council.
22. That as-built plans and data, in accordance with the requirements of Section 2.7.6 of the Hastings District Council Engineering Code of Practice (November 1997) shall be submitted to Council once construction is completed and shall be certified as a complete and correct record by a registered and professionally qualified engineer. Data on water, sewer and stormwater assets is required to be submitted to Council in electronic format and that an electronic data book (e-book) is available for this purpose. As built data shall be submitted to Council, at least two weeks prior to any application for Certification under Section 224(c) of the Resource Management Act 1991.
23. That closed circuit television (CCTV) inspection records (video), in accordance with Council's CCTV technical specification, shall be submitted to Council for all sewer mains, and all stormwater mains up to 600mm diameter.
24. That a registered and professionally qualified engineer shall certify that the works have been designed and constructed in accordance with the approved design.
25. That the supervising engineer shall issue a "Construction Review" producer statement for the services construction, the completeness and accuracy of the as built data, and the applicant shall supply this statement to Council.
26. That the applicant shall submit Form 4-5 "Certification of Construction and Completion of Engineering Works for Subdivision" (Appendix 4.0-1 of the Hastings District Plan) from a registered and professionally qualified engineer, to the Manager, Resource Management, Hastings District Council, on the completion of the engineering works.
27. That the connection of the subdivision water, sewer and stormwater services with existing or proposed services will be made at the applicant's expense and constructed by a contractor approved by Hastings District Council for constructing connections to its networks.

28. That assets as required by the Hastings District Council shall be vested in the Hastings District Council and that approval for vesting of any assets is given by the appropriate Hastings District Council Asset Manager.
29. That easements for drainage and access purposes along the existing public drains be created in favour of Hastings District Council and shown as a memorandum of easements on the face of the Land Transfer Plan. Dimensions for such easements are to be in accordance with 2.3.6.2 of the Hastings District Council's Engineering Code of Practice (November 1997, and amendments to the date of this approval).
30. This site may require a low pressure sewer system as part of any building to be constructed. Any effluent discharge that is held on site as part of any sewer disposal design system shall remain in an aerobic state and shall not contain material that could pose a risk to the health and safety of any person undertaking maintenance, cause odour or other public nuisance, or damage the sewer network. The low pressure system will require to be certified by a suitably qualified engineer.
31. That all Subsoil drainage systems are to be monitored and maintained in an operational state
32. That a Consent Notice pursuant to Section 221 of the Resource Management Act 1991 shall be registered to secure the performance of Conditions 5, 6, 7 and 30. The notice shall be registered at the subdivider's expense against the Certificates of Title to issue for Lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 15, 18, 19 & 20 hereon.

Roading

33. The consent holder shall submit engineering design drawings showing cross sections and longitudinal section (inclusive of drainage, signage, roadmarking and street lighting details) for the road to be vested (Lot 17) and Rights of Way 'A', 'B', 'C', 'D', 'E', 'F', 'M' & 'W'
34. The consent holder shall construct proposed Lot 17 (inclusive of drainage, signage, roadmarking and street lighting details) in accordance with the Hastings District Council Engineering Code of Practice (November 1997).
35. That Lot 17 hereon shall be vested in the Hastings District Council as Road.
36. The consent holder shall construct proposed Rights of Way 'A', 'B', 'C', 'D', 'E', 'F', 'M' & 'W', in accordance with the Hastings District Council Engineering Code of Practice (November 1997).
37. The consent holder shall construct vehicle crossings on all Rights of Way to serve proposed Lots 1-10, 15, 18, 19 & 20 in accordance with the Hastings District Council Engineering Code of Practice (November 1997).
38. The road marking and signage required by condition 34 should be designed in accordance with the Hastings District Council Engineering Code of Practice (November 1997) and the Manual of Traffic Signs and Markings Parts 1 and 2.
39. That as-built plans, in accordance with the requirements of Section 2.7.6 of the Hastings District Council Engineering Code of Practice (November 1997) shall be submitted to Council once construction is completed and shall be certified as a complete and correct record by a Chartered Professional Engineer or other

appropriately qualified person. These plans shall be submitted prior to the release of the Section 224(c) Certificate

40. The consent holder shall meet all costs associated with the provision of road signage and lighting.

Sediment Control

41. That the applicant shall submit a sediment control plan prepared by an appropriately qualified person to council for approval by the Manager, Resource Management, prior to the commencement of any work on the site. The plan shall detail how sediment and erosion controls will be carried out at the site in accordance with current engineering best practice. A statement shall be included with the plan stating the author's qualifications and experience in this area.
42. That the applicant shall install sediment and erosion controls in accordance with the approved plan prior to the commencement of the earthworks and that these controls shall be maintained throughout the period of the works. Any areas of fill shall be grassed immediately on completion of the earthworks and maintained until stabilised. The location and dimensions of any area of fill shall be identified and advised to the Hastings District Council.
43. That the applicant shall maintain the sediment and erosion controls during construction in accordance with the approved plan.

Tree Planting

44. The applicant shall submit for approval a tree planting showing all the trees planted on Lot 16 that provide slope stability and that nullify the stormwater runoff to the Mangarau Stream from the development of Lots 1-10, 15, 18, 19 & 20.

The Tree Planting Plan shall be referenced as: Raumati Trust Tauroa Tree Planting Plan (RMA20080269).

The tree planting plan requires the approval of the Drainage Services Manager, Infrastructure, and the Manager, Resource Management, prior to the issue of a certificate pursuant to Section 224 of the Resource Management Act 1991. The tree planting plan shall demonstrate as a minimum:

- A. The areas of Lot 16 subject to stability and runoff planting;
 - B. The minimum number of trees that are to be maintained;
 - C. Identification of the range of tree species planted.
45. That the area, species and number of trees identified on the attached plan referenced: (Raumati Trust Tauroa Tree Planting Plan RMA20080269) shall be maintained to the satisfaction of the Hastings District Council.

The tree plantings provide slope stability for, and; nullify the effects of stormwater runoff from Lots 1-10, 15, 18, 19 and 20 of subdivision consent RMA20080269.

The maintenance of the trees planted means; the replacement of any dangerous, dead or dying matter, ensuring the minimum number of trees identified remain, and; the general preservation of trees to a healthy standard.

46. That a Consent Notice pursuant to Section 221 of the Resource Management Act 1991 shall be registered to secure the performance of Condition number 45. The notice shall be registered at the subdivider's expense against the Certificate of Title to issue for Lot 16 hereon. The plan approved by Hastings District Council and referenced as: Raumati Trust Tauroa Tree Planting Plan (RMA20080269), shall be attached to this consent notice.
47. The area of trees shown on the attached plan (referenced: Raumati Trust Tauroa Tree Planting Plan (RMA20080269) are required to be retained and maintained in order to provide slope stability for, and; nullify the effects of stormwater created by Lots 1-10, 15, 18, 19 and 20 hereon, this site.
Should the owners of Lots 1-10, 15, 18, 19 and 20 hereon become aware of any reduction in the amount of trees planted in this area, please contact Hastings District Council department immediately (06) 878 0500.
48. That a Consent Notice pursuant to Section 221 of the Resource Management Act 1991 shall be registered to secure the performance on Condition number 47. The notice shall be registered at the subdivider's expense against the Certificate of Title to issue for Lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 15, 18, 19 and 20 hereon. The plan approved by Hastings District Council and referenced as: Raumati Trust Tauroa Tree Planting Plan, shall be attached to this consent notice.

With the Reasons for this Decision Being:

1. No parties are considered affected by the proposed variation.
2. The effects of the variation to the scheme plan and servicing of the subdivision will be no more than minor and the proposal is consistent with the provisions of the plan in that the subdivision status as a controlled activity remains unchanged.
3. The proposed subdivision is consistent with the purposes and principles of the Resource Management Act 1991.

Recommended by:

Rowan Little
ENVIRONMENTAL PLANNER (POLICY)

Decision issued under Delegated Authority by:

Ian Macdonald
ENVIRONMENTAL MANAGER
RESOURCE MANAGEMENT

Date:

30 September 2008

Advisory Notes for Information Purposes:

1. At the time of applying for Certification under Sections 223 and 224(c) of the Resource Management Act 1991, the following fees may be payable under Council's Schedule of Resource Management Fees and Charges (*Please Note: These fees are correct at the date of the consent, and are subject to change*):

Section 223 certification – Sealing of Survey Plans	\$80
Section 224 certification – Survey Plans (where 223 and 224 certification are applied for together, this fee will also apply):	
For Subdivisions of more than 10	\$300
Consent Notice (Section 221 of RMA)	\$110 (per notice)
Roading Engineer Check for 224(c) Certificate:	
For Subdivisions of more than 10 lots (actual cost based on hourly rates will be charged)	\$200 (deposit)
East Water Engineer Check for 224(c) Certificate:	
For Subdivisions of more than 10 lots (actual cost based on hourly rates will be charged)	\$200 (deposit)

In respect of any charges under the Resource Management Act 1991, charges shown above shall be applicable to any additional charge payable in terms of Section 36(3) of the Act, where the actual and reasonable costs incurred exceed the standard charge paid.

2. In terms of Conditions 12, 22, 26, 33 & 39 above, all engineering plans must be submitted to Council's Planning Department, with a cover letter clearly stating the resource consent number and which condition/s the plans relates too.
3. If it is intended to make any changes to the easements, staging or scheme plan approved by the Council as part of this resource consent, a new approval may be required. If you have any doubts as to whether or not a new application will be required, please contact one of Council's Environmental Consent Planners.
4. Please note that this consent only relates to District Plan requirements. Building Consent must be obtained before any building or drainage work commences. This work can include the construction of stormwater, sewer and/or water services. Please contact Tim Nichols, George Astridge or Gerard Van Veen on 878 0500 who will be able to assist you in this regard.
5. This development may be subject to development contributions in accordance with the Local Government Act 2002 and the Hastings District Council Development Contributions Policy. If applicable, an assessment letter detailing the amounts will be sent to you in the next few weeks. Please note that any assessed development contributions must be paid before the Council can issue a Section 224 Certificate for any stage of this development. If you have any questions about development contributions please contact the Development Contributions Officer at the Hastings District Council.
6. Part of this property is located within the Rural Zone which is a productive rural area. Residents live in an environment where agricultural management practices such as agrichemical spraying, use of farm machinery, the seasonal operation of bird scarers and night harvesting occur.
7. Part of this property is located in the Rural-Residential Zone which is located close to productive rural areas. Residents live in an environment where agricultural management practices such as agrichemical spraying, use of farm machinery, the seasonal operation of bird scarers, traffic movements, dust generation, odour, and night harvesting occur.
8. Part of this area has been identified as an Outstanding Natural Feature. The District Plan restricts certain activities, including building development, earthworks and plantations, so that such activities do not have an adverse effect on these features.

9. Part of this area has been identified as a Significant Landscape Character Area. Certain activities, including building development, earthworks and plantations, may have an adverse effect on this landscape. The community seeks to ensure that a range of different landscape types, best representing each of the inland and coastal landscape units identified for the Hastings District, are retained and enhanced.
10. This property contains a designated site under section 176 of the Resource Management Act 1991. No person may, without the prior written consent of the requiring authority, do anything in relation to the land that is the subject of the designation including:
 - (a) Undertaking any use of the land (including any use, erection, reconstruction, placement, alteration, extension, removal, or demolition of any structures, excavation, drilling or tunnelling, and deposition of any substance);
 - (b) Subdividing the land; and
 - (c) Changing the character, intensity or scale of the use of the land;that would prevent or hinder the public work or project or work to which the designation relates.
11. This site is identified in the 2004 Hawke's Bay Regional Council 1 in 50 year flooding area. The property owner should take this into consideration when considering future development of this site.
12. Council's records indicate that this site has been subject to ponding in the past. The property owner should take this into account when considering future development on the site.
13. This site contains an active fault line. The property owner should take this into account when considering future development on the site.
14. Under the Regional Plan, no building, structure, fence, planting, deposit of earth, shingle or debris, or any activity which impedes access to any river, lake or watercourse is permitted within 6 metres of a river, lake or watercourse which is within a land drainage or flood control scheme area.

Decision:

Pursuant to Rule 12.2.7.2 of the Hastings District Plan (Operative June 2003) and Section 104A of the Resource Management Act 1991, consent is Granted to T K Family Trust to erect a dwelling in a special landscape character area at 15 Tauroa Valley, Havelock North, being Lot 20 DP 410351 (CT 438232).

Subject to the Following Conditions:

1. That the development proceeds in accordance with the plans and information submitted in the application (ref: PID 101091, Resource Consent RMA20100003, application received 24/12/2009), in conjunction with Building Consent ABA20091532. In particular that:
 - The building shall be finished in the materials and colours specified in the application
 - The building shall not use mirror glass
2. That a monitoring deposit of \$150 (including GST) shall be payable to cover the reasonable costs of monitoring compliance with the above conditions in accordance with Council's schedule of charges.

In the event of non-compliance being detected by monitoring or justified complaint and/or the costs of monitoring consent exceeding the deposit, the costs to Council of any additional monitoring shall be paid by the consent holder in accordance with the Council's advertised schedule of fees.

With the Reasons for this Decision Being:

1. Conditions 1 and 2 ensure that the proposal proceeds in accordance with the information submitted and assessed as part of the resource consent application.
2. The adverse effects of this proposal are minor, in that:
 - The building and platform have been designed to ensure that no major ridgelines are broken;
 - The building will be setback over 15 metres from the closest boundary, providing a large open space between dwellings in the area;
 - The applicant proposes earthy and dark tones that are suitable for the surrounding landscape.
3. The proposal is consistent with the Objectives, Policies and other provisions of the Hastings District Plan, in that:
 - Any potential adverse visual or landscape effects created by the development will be avoided, mitigated or remedied.

4. The application meets the requirements of the Resource Management Act 1991.

Recommended by:

Jason Tickner
ENVIRONMENTAL PLANNER (CONSENTS)

**Decision issued under Delegated
Authority by:**

Phil Evans
TEAM LEADER - ENVIRONMENTAL CONSENTS
PLANNING AND REGULATORY SERVICES

Date:

18 January 2010

Advisory Note for Information Purposes:

1. Please note that Consent Notice 8093936.2, which contains a landscaping condition, relates to this site (please see attached).

**Consent Approved,
RMA20100003, J Tickner,
18/01/2010**

Finished ground level
to be min 225mm below
floor slab level to dwelling
building platform RL = 123m

RESOURCE
24
REC

LOT 20
DP 410351
11870m²
TAUROA ROAD
HAVERLOCK NORTH

approximate location of water storage tanks,
check exact location on site.
feed from dwelling downpipes, run 25mm
feed pipe to dwelling for positive pressure
water system for garden water

town supply water storage tank with pump to feed
to dwelling, exact location to be determined on site

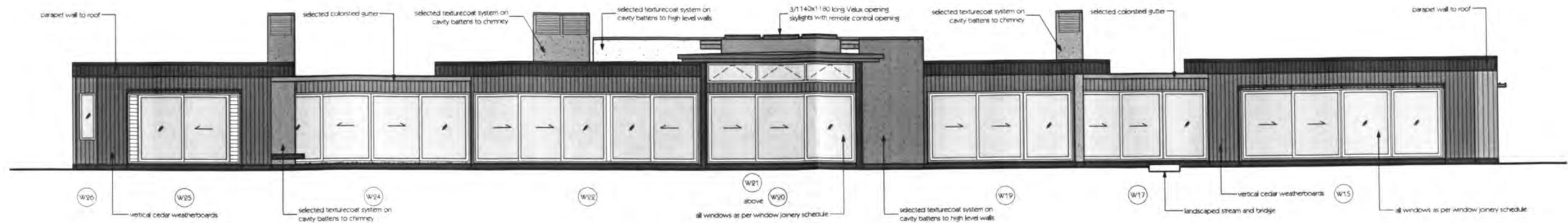
LOCATION PLAN

Scale 1:500@ A2

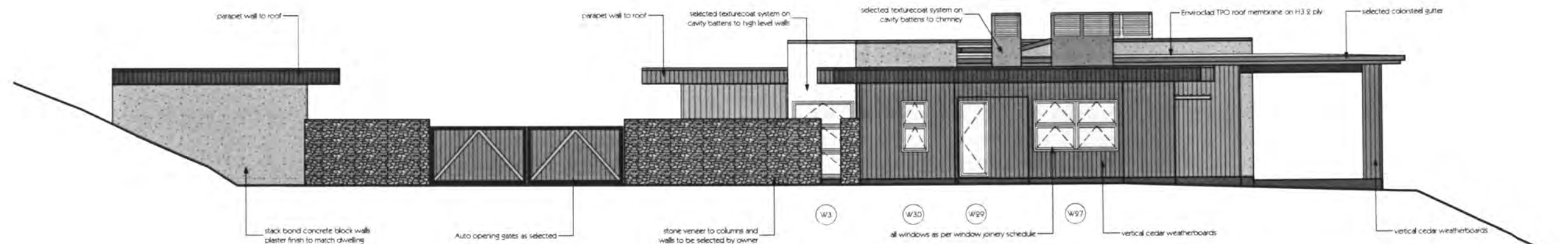
SITE PLAN

Scale 1:200@ A2

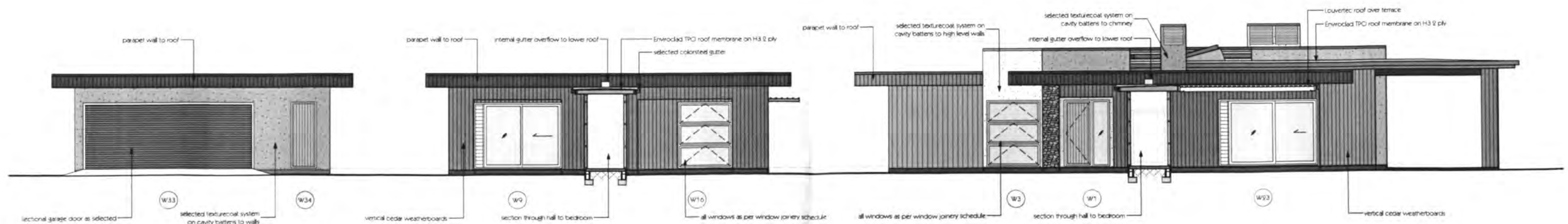
	KERMITT ARCHITECTURE PO BOX 12247 NAPIER 06 835 6359 T 06 835 6366 F 021 769 623 M contact@kermitt.co.nz www.kermitt.co.nz IN ASSOCIATION WITH CLARKSON ARCHITECTS	REVISIONS	PROJECT TITLE Proposed New Home for T.K. Family Trust Lot 20 Tauroa Valley Havelock North	DRAWING Location and Site Plan		
	Copyright © Kermitt Architecture	Notwithstanding what is shown in the plans and specifications, all building work shall comply with the NZ Building Code, acceptable solutions and / or approved alternative solutions.	Do not scale from drawing. Contractor must verify on site before commencing any work.	SCALE as shown	DRAWN BY DJA	DATE Dec 09
				JOB NO 876	SHEET A01	REV



North Elevation



East Elevation



Garage-North Elevation

Bedroom Wing-East Elevation

Living/Entry-East Elevation

Consent Approved,
RMA20100003, J Tickner,
18/01/2010

ELEVATIONS

Scale 1:100 @ A2



KERMITT ARCHITECTURE
PO BOX 12247
NAPIER
06 835 6359 T
06 835 6366 F
021 769 623 M
contact@kermitt.co.nz
www.kermitt.co.nz
IN ASSOCIATION WITH
CLARKSON ARCHITECTS

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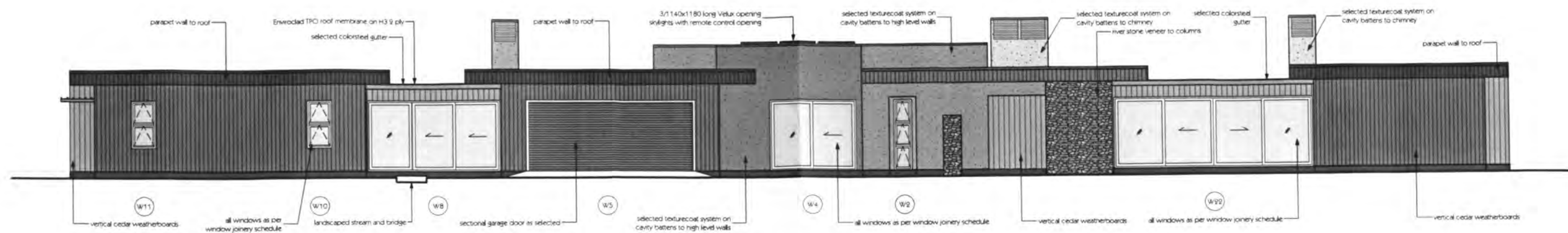
REVISIONS

Notwithstanding what is shown in the plans and specifications, all building work shall comply with the NZ Building Code, acceptable solutions and / or approved alternative solutions.

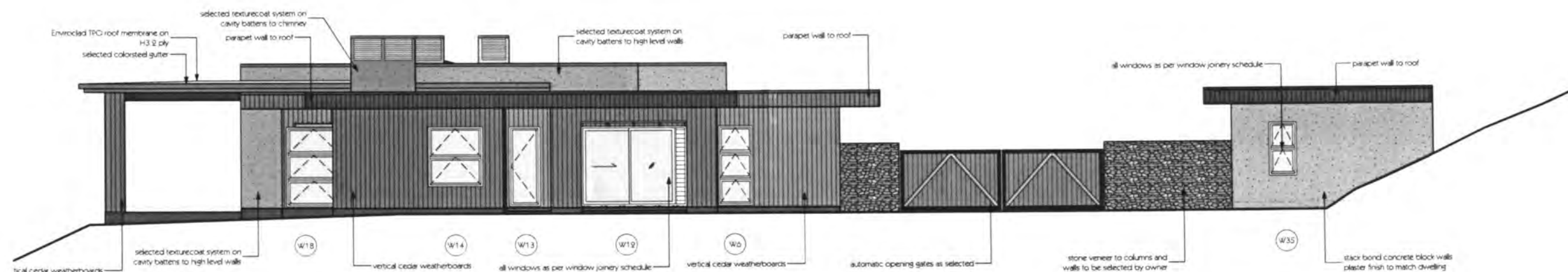
PROJECT TITLE
Proposed New Home
for
T.K. Family Trust
Lot 20 Tauroa Valley
Havelock North

DRAWING
Elevations
North and East

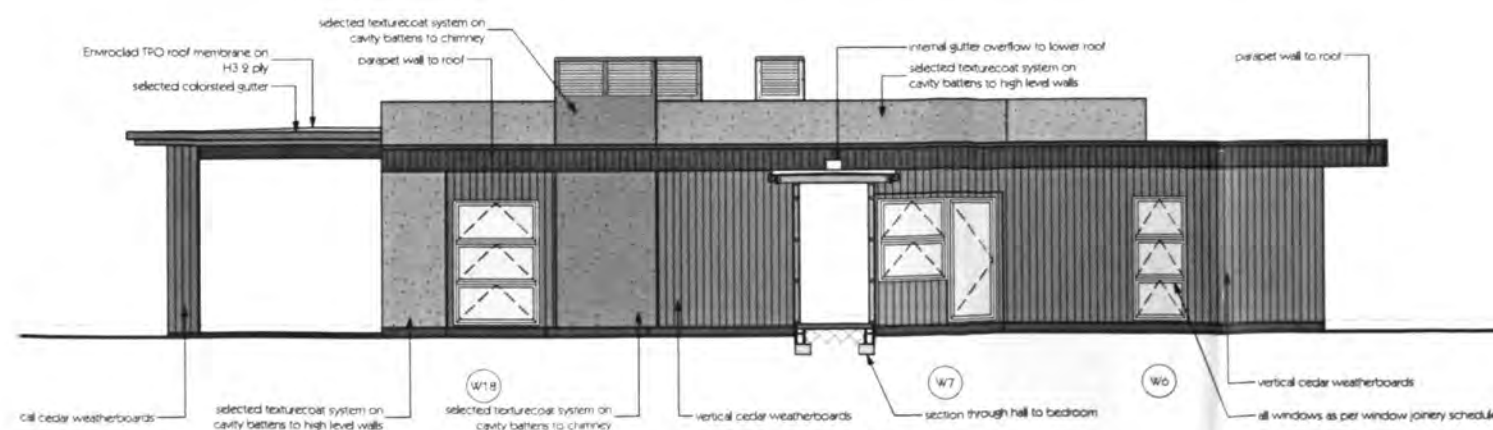
SCALE	DRAWN BY	DATE
as shown	DJA	Dec 09
JOB NO	SHEET	REV
876	A07	



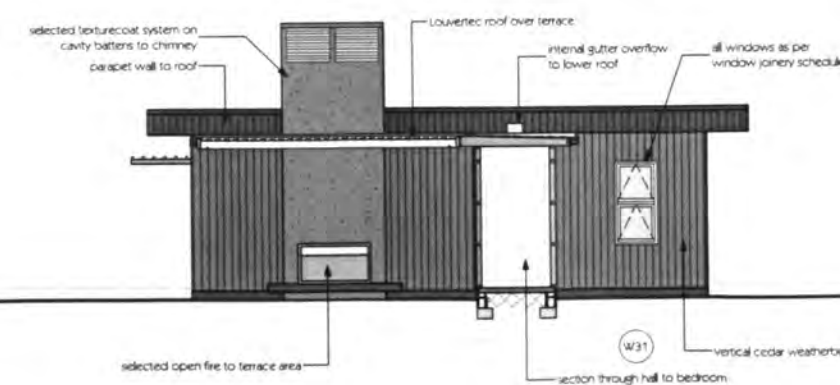
South Elevation



West Elevation



Garage/Den-West Elevation



Master Bedroom-West Elevation

ELEVATIONS

Scale 1:100 @ A2

**Consent Approved,
RMA20100003, J Tickner,
18/01/2010**

	KERMITT ARCHITECTURE PO BOX 12247 NAPIER 06 835 6359 T 06 835 6366 F 021 769 623 M contact@kermitt.co.nz www.kermitt.co.nz IN ASSOCIATION WITH CLARKSON ARCHITECTS	REVISIONS	PROJECT TITLE Proposed New Home for T.K. Family Trust Lot 20 Tauroa Valley Havelock North	DRAWING Elevations South and West		
				SCALE as shown	DRAWN BY DJA	DATE Dec 09
	Copyright © Kermitt Architecture	Notwithstanding what is shown in the plans and specifications, all building work shall comply with the NZ Building Code, acceptable solutions and / or approved alternative solutions.	Do not scale from drawing. Contractor must verify on site before commencing any work.	JOB NO 876	SHEET A08	REV