

PROPERTY BROCHURE

152 Arapohue Road, Dargaville Surrounds



Pocklington

REAL ESTATE



Vendors want action!

 4  2  3  3  228m²  5,500m²

Some properties simply offer a place to live. Others give you the space, privacy and freedom to create the lifestyle you've always wanted.

Set on approximately 5,500sqm (more or less) of elevated land, this substantial property combines sweeping rural views, generous accommodation and exceptional versatility, all within easy reach of town. The west coast outlook is a standout feature, with expansive farmland views and spectacular sunsets providing a beautiful backdrop to everyday life.

Inside, the home offers four bedrooms, including a master suite with walk-in wardrobe and ensuite. A modernised open-plan kitchen, dining and living area is light, welcoming and designed to connect effortlessly with the expansive outdoor entertaining area.

There is also plenty of flexibility. A separate wing, with its own entrance provides the perfect space for an at home business, studio or additional living space. Downstairs, a large additional room and bathroom provide further options for teenagers, guests or extended family.

Outside, the property continues to deliver, with a substantial powered shed with concrete flooring, single garage, double carport and ample parking. A fenced paddock, established vegetable gardens and fruit trees add to the lifestyle appeal.

The established gardens create a private and peaceful setting, while the generous deck, festoon lighting and feature waterfall make outdoor entertaining something to look forward to.

This is your opportunity to put forward an offer and secure a property that offers space, privacy and versatility in abundance.

All offers will be considered, my vendors are ready to move on.

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Boundary lines are indicative only

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KEY PROPERTY DETAILS

LEGAL DESCRIPTION	Lot 1 Deposited Plan 113158 in Title NA63C/760
CV	\$1,000,000
RATES	\$2,494.27
LAND AREA	5,500sqm (more or less)
FLOOR AREA	228sqm
NO. OF LIVING AREAS	Two - open-plan living and dining which flows outside plus a rumpus
BEDROOMS	room downstairs Four bedrooms
BATHROOMS/TOILETS	Three bathrooms, three toilets
PARKING	One single garage, double attached carport, large 100sqm shed and ample off-road parking
DATE BUILT	Original 1940s, extensive renovation in 2008
CLADDING	Weatherboard, linea board, zinccalume
ROOF	Zinccalume - age 2008
FLOOR	Carpet, tiles and wooden flooring
JOINERY	Aluminium
INSULATION	Partial underfloor plus walls and ceiling
HEATING	Fireplace and heatpump
WATER HEATING	Electric
WATER SOURCE	Four watertanks
WASTE	Septic tank with soakage field, upgraded early 2000's and cleaned July 2026
INTERNET	UBER satellite

CHATTELS	Auto garage door, Window Treatments, Clothesline, Dishwasher, Electric oven, Gas hob/cooktop, Extractor fan x2, Fixed floor covering, Heated towel rail x2, Heat pump and remote x1, Heat transfer system, Light fittings, Rangehood, Security system - unmonitored, Smoke detectors, Fireplace, Water pump, Water feature with pump, Gas bottle, Security lights
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LEGAL TITLE



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD**

**Guaranteed Search Copy issued under Section 60 of the Land
Transfer Act 2017**



R. W. Muir
Registrar-General
of Land

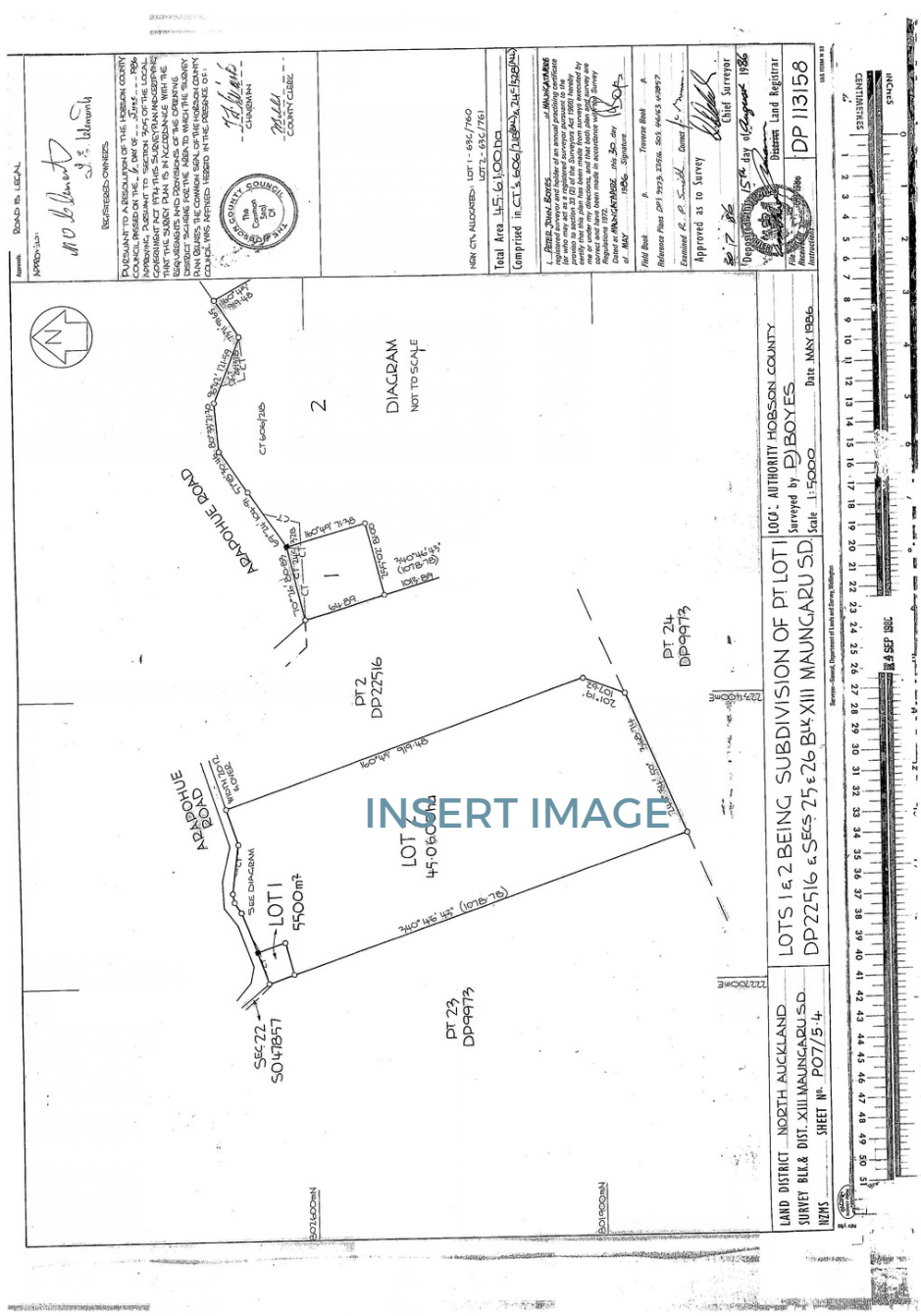
Identifier **NA63C/760**
Land Registration District **North Auckland**
Date Issued 15 August 1986

Prior References
NA24C/328 NA606/218

Estate Fee Simple
Area 5500 square metres more or less
Legal Description Lot 1 Deposited Plan 113158
Registered Owners
Shawn Brian House, Trisha Lesley House and Hammonds Trustees 2012 Limited

Interests
Fencing Agreement in Transfer 97319
Subject to Section 8 Coal Mines Amendment Act 1950 (affects part formerly Section 25 Block XIII Maungaru Survey District)

LEGAL TITLE

Identifier**NA63C/760**

Transaction ID 10255668
Client Reference Quickmap

Guaranteed Search Copy Dated 18/09/26 11:16 am, Page 2 of 2
Register Only

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RENTAL APPRAISAL



Rental appraisal

152 Arapohue Road, Turiwiri, Kaipara District

Spacious 4-bedroom, 3-bathroom home with 3 car spaces at 152 Arapohue Road, Turiwiri, Kaipara District. Open plan living, dining, and kitchen area flows to outdoor decks and lawn. Large 5500 sqm land area and 228 sqm floor area. Close to local amenities, parks, and schools in Dargaville. Enjoy the tranquility of rural living with easy access to town.

4 3 3 228m²

Rental details

Current market value (p/w)
\$650-\$700

Type

House

Date

March 31, 2026



Marni Stewart

Property Manager

Phone: +64 21 288 9311

Email: Marni.Stewart@bayleys.co.nz

Office: Dargaville

Thank you for the opportunity to provide you with a rental appraisal for your property.

Disclaimer: This rental assessment is provided for general information purposes only and is based on current market conditions, which may change over time. While care has been taken to ensure the accuracy of the information, no warranty is given as to its completeness or reliability. The property may not have been physically inspected, and no assumptions should be made regarding its condition.

It is presumed, solely for the purposes of this appraisal, that the property complies with the Residential Tenancies Act 1986 and Healthy Homes Standards 2019, or would be compliant or exempt at the time of letting. Interested parties should obtain independent legal and professional advice to determine the property's suitability for residential tenancy.

This assessment does not constitute legal, financial, or investment advice, and no liability is accepted for any loss or damage arising from its use or reliance upon it.



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Residential / Commercial / Rural / Property Services

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DISCLOSURES

This Property Information Pack has been prepared to assist prospective purchasers in making an informed decision. All reasonable efforts have been made to ensure the accuracy of the information provided; however, purchasers are advised to undertake their own due diligence.

Property areas identified for disclosure and further due diligence.

1. Timer bell on oven, sound not working
2. Electric ignition on left front burner not working but can be manually lit

It is our recommendation that if you are interested in purchasing this property, follow thorough due diligence to support with your purchasing decision.

FLOOR PLAN



Floor plan is indicative only

Plans should not be relied on and interested parties should make their own enquiries

BOUNDARY MAP





LISA POCKLINGTON

BRANDOWNER | SALESPERSON

Lisa Pocklington of Pocklington Real Estate is a proud Kaipara local who has built her career on genuine care for people and an unmatched knowledge of this region. With 10 years of Real Estate Experience and a background in customer service with Qantas, where she quickly rose to flight attendant manager, Lisa brings a rare combination of professionalism, warmth and local expertise to every client she works with.

People are at the heart of everything Lisa does. She takes the time to truly understand what each client needs, tailoring her approach to deliver the right result for their unique situation. Her natural ability to connect, communicate and negotiate means clients always feel supported, informed and in safe hands throughout the entire process.

Lisa's smart, modern approach to marketing ensures every property reaches the right audience, while her warm, empathetic style ensures every client feels like a priority. For Lisa, Real Estate has never just been about the sale, it's about the people behind it.

In her spare time, Lisa loves travelling, spending time with family and friends, running and fishing. Passionate about Kaipara and everything this region has to offer, there is no one better placed to help locals achieve the results they deserve.

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NOTES

This image shows a single sheet of white paper with horizontal blue ruling lines. The lines are evenly spaced and run across the width of the page. There are no margins, text, or other markings on the paper.

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